

ROXBOROUGH PARK FOUNDATION

*A UNIQUE RESIDENTIAL COMMUNITY,
COMMITTED TO LIVING IN HARMONY WITH NATURE*

BUILDING AND LANDSCAPE

DESIGN REQUIREMENTS

PROCEDURES AND REGULATIONS

(DRD)

EFFECTIVE May 29, 2008

The Roxborough Park Foundation encourages all architects, builders and residents to employ “green” building elements, techniques and materials in the design and construction of improvements.

PREFACE

The Roxborough Park Foundation (RPF) is the entity designated by the *Amended and Restated Protective Covenants* applicable to Roxborough Park (referred to hereinafter as the “Covenants”), as having the authority to enforce and implement the Covenants. The drafters of the Covenants, recognizing the impracticability of addressing all issues that might arise concerning the use and enjoyment of land within Roxborough Park, and recognizing the desirability of being able to address problems on an as-needed basis, granted to the RPF the power and authority to adopt Rules and Regulations consistent with the Covenants for the purpose of enhancing and protecting the value, desirability and attractiveness of Roxborough Park. It is pursuant to this grant of power and authority that the duly elected board of Directors of the RPF has adopted the following Design Requirements, Procedures and Regulations.

Owners are hereby advised that the Design Requirements, Procedures and Regulations do not address every requirement or obligation imposed by the Covenants. Accordingly, a knowledge of the Covenants, Bylaws and Rules and Regulations as well as the *Roxborough Park Foundation Building & Landscape Design Requirements, Procedures and Regulations, (DRD)*, is necessary to understand all the guidelines for construction and maintenance of buildings and property within Roxborough Park.

This document on the date implemented will supersede any previous *RPF Building & Building and Landscape Design Requirements, Procedures and Regulations (DRD) Landscaping Design Requirements, Procedures and Regulations, (DRD)*. Any building plans, including Sketch plans, Preliminary plans and/or Final Working Drawings, submitted to the DRC prior to the implementation date, noted on the title sheet of this document, will be administered under the previous *RPF Building & Landscape Design Requirements, Procedures and Regulations (DRD)* effective 4 March 2004.

These are applicable to all real property subject to the Covenants.

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INTRODUCTION

Roxborough Park is a community where dwellings of varying styles and designs are built in harmony with nature and to complement the surrounding landscape. There is no mandatory style of architecture at Roxborough Park, but there are restrictions of particular styles.

The RPF Design Review Committee (DRC) sets standards for new construction and landscaping as well as additions or changes to existing properties, as authorized by the *Roxborough Park Amended and Restated Protective Covenants*. The DRC has published this document to further define the design concepts and establish specific requirements to assist the Owner and Architect/Designer in preparing plans that suit the Roxborough Park environment. No construction or exterior modification may begin without written approval from the DRC.

Subsections 6.1 and 6.2 of *the Amended and Restated Protective Covenants* set forth the general design criteria and approval requirements.

The major objectives in controlling house design and construction at Roxborough Park are to minimize their impact on the natural environment and to insure quality construction, thus enhancing property values. Quality of design and compatibility with the particular lot, as well as adjacent lots, buildings and landscapes are the principle factors that govern building and landscape design.

These standards apply to all properties and permit the flexibility that is essential when dealing with widely varying topography and lot conditions. They are intended to guide and help the Owner, Architect/Designer and Builder formulate concepts and construct homes and other buildings in keeping with the physical and aesthetic requirements of the community.

Because no two lots are exactly alike, the DRC *reviews* each plan in relation to the specific characteristics of that lot and its surroundings, and reserves the right to reject any plan which, in its opinion, does not meet the guidelines and standards of the Roxborough Park environment. That which might be considered appropriate for one lot might not be appropriate for another. The appearance of dwellings from other lots, open space and roads are considerations.

The purpose of this document is to: 1) set forth the design concepts and design requirements in words and illustrations; 2) establish specific drawing standards to provide uniformity in drawing submittals; 3) update and improve procedures. By assembling this data in one document, the Architect/Designer can better prepare the required site, building, and landscaping drawings and the builder can subsequently complete the construction in compliance with the governing

procedures. The DRC will rule upon conflicts or questions of interpretation of requirements between this and other documents.

The Owner and Architect/Designer should review all of the documents governing building design and construction before embarking on the building and site design. Responsibility for compliance with the Roxborough Park governing documents for both the home and site improvements rests with the Owner.

The Owner and Architect/Designer should understand that the DRC is concerned with the external appearance of the building, the landscaping, drainage and impact on the surrounding area. Building floor plans, internal configurations and interior finishes, etc. are at the discretion of the Owner and Architect/Designer.

This document is divided into nine major sections and organized to allow easy location of particular sections of interest to readers.

- Section 1 contains General Provisions.
- Section 2 describes the organization of the DRC.
- Section 3 through 7 are intended for people planning to build new, single-family homes and any other structure requiring a Douglas County permit. Of these, Sections 3, 4 and 5 set forth the basic requirements for site, house and landscaping design, respectively.
- Section 6 specifies the requirements for qualifications of Architects, Designers and Builders.
- Section 7 delineates the procedures to be followed in obtaining DRC approval and the information required in drawings supplied with each submittal.
- Section 8 applies to changes in any exterior appearance made after design approval has been obtained, or for changes in the exterior appearance of existing sites or buildings (remodeling, additions, landscape changes, grading, painting, etc).
- Section 9 applies to Single Family & Multi Family homes in project Areas. The basic design requirements for these homes are identical to those specified for new, private single family homes in Sections 3, 4 and 5, except as specifically noted in Sections 9.

Existing homes, structures, alterations or projects in Roxborough Park may not necessarily be an indication of acceptability. This may be due to design evolution resulting from changes in building materials, color fastness, etc., County/State/Federal regulations and changes in the DRD regulations (i.e. new installations of shake roofs are no longer allowed in Roxborough Park) or projects being done without the DRC's knowledge or approval.

In the event of non-compliance, fines will be assessed according to Article 8 of the *RPF Rules and Regulations*.

1.0 GENERAL PROVISIONS

1.1 Authority

The authority for the RPF DRC is found in the *Roxborough Park Amended and Restated Protective Covenants*.

1.2 Owner Responsibility

All lot Owners at Roxborough Park will be responsible for their builders, contractors and subcontractors complying with:

1. *Amended and Restated Protective Covenants for Roxborough Park.*
2. *RPF Rules and Regulations.*
3. *RPF Building and Landscape Design Requirements Procedures and Regulations (DRD).*

1.3 Non-Waiver

The failure of the DRC to enforce any restriction, covenants, condition, or requirement contained in any of the documents noted in Subsection 1.2 above, shall not constitute a waiver of any right to enforce such provision or any other provision.

1.4 Non-Liability

Neither the DRC, nor any member thereof, nor the RPF, nor any member of the Board of Directors thereof, nor agents or employees of the RPF, nor their respective heirs, successors, or assigns of any of the foregoing individuals or entities shall be held liable for damage to anyone submitting plans and/or specifications to them for approval by reason of mistake in judgment, negligence, or failure to approve such plans and/or specifications. Every Owner or other person who submits plans and/or specifications to the DRC for approval agrees, by submission of such plans and/or specifications, that he/she will not bring any action or suit against the DRC, its members, agents, or the RPF, the members of its Board of Directors, agents or employees relating to action taken by them or neglected to be taken by them, in connection with the plans and/or specifications submitted.

1.5 Interpretation

Any matter, condition, or material not defined herein nor any matter requiring interpretive clarification shall remain a matter of discretion on the part of the DRC.

1.6 Enforcement

Failure to obtain necessary approval from the DRC in advance of any types of site or structure alteration will constitute a violation of the *Roxborough Park Amended and Restated Protective Covenants* applicable for Roxborough Park and can require modifications or removal at the expense of the Owner. The DRC shall notify the Owner of the infraction, define the corrective measures required to remedy the infraction and refer the matter to the RPF's designated representative for enforcement. In addition to the expense of the corrective action required, a noncompliance assessment penalty may be imposed on the Property Owner.

1.7 Variances

The DRC reserves the right to approve reasonable variances submitted by an Owner at any time from the procedures or standards established herein in order to provide flexibility to meet unforeseen situations. Any variance granted pursuant to this Subsection 1.7 does not constitute approval from Douglas County and additional approvals from Douglas County may be required.

1.8 Additional Standards and Requirements

Additional standards and requirements are set forth in the Overall Development Plans for Roxborough Park, the applicable subdivision plat, the Amended Declaration of Restriction, Covenants and Conditions applicable to Roxborough Park, and any applicable Supplement Declaration. Each Owner must read and become familiar with all such documents so as to avoid violating the standards and requirements set forth therein.

1.9 Severability

Each and every provision contained herein shall be deemed independent and severable, and the invalidity or partial invalidity of any provision or portion thereof shall not affect the validity or enforceability of any other provision herein.

1.10 Effective Date

The DRD shall be in full force and effect from the date of adoption by the RPF, pursuant to the terms of the Covenants.

1.11 Amendment

The Board of Directors of the RPF may amend, repeal or reenact all or part of these regulations as provided for in the *Roxborough Park Amended and Restated Protective Covenants*.

1.12 Stop Work Order Authority

Upon notification or receipt of a written complaint, the General Manager and Board of Directors has the authority and responsibility to issue a Stop Work order requiring the owner: (a) to stop any or all work where any violations of the design review process or approved plans occurs, and (b) to require correction or removal of any violation at the Owner's expense. Violations may include unauthorized removal or damage to trees (including scrub oak); changes in site work, exterior elevations, exterior lighting, grading, landscape, building materials and/or exterior colors, or starting the project before written approval of the DRC.

2.0 ORGANIZATION

2.1 Composition of the Design Review Committee (DRC)

The DRC composition shall be as set forth in the *Amended and Restated Protective Covenants* applicable to Roxborough Park.

2.2 Meetings

All meetings required or contemplated by the DRC shall be scheduled by the DRC Coordinator who can be reached at the telephone number on the *Request for Design Approval form*.

The DRC normally meets twice each month to review submissions for new homes and additions, or change requests for existing homes. Meeting times and dates may be altered without notice provided to Owners or Architects/Designers who have submitted material for review.

3.0 SITE DESIGN REQUIREMENTS

3.1 General Site Grading and Drainage

Site grading and drainage shall be done with minimal disruption to the lot. The design should minimize drainage to adjoining lots, open spaces or across adjacent roads. To the greatest extent possible, drainage shall utilize existing swales.

Contouring to create large flat earth platforms to serve as building sites is not acceptable. The building should be designed to nestle into the existing land with as little disturbance to the site as possible. Land that is disturbed must be re-contoured to complement the original terrain as much as possible.

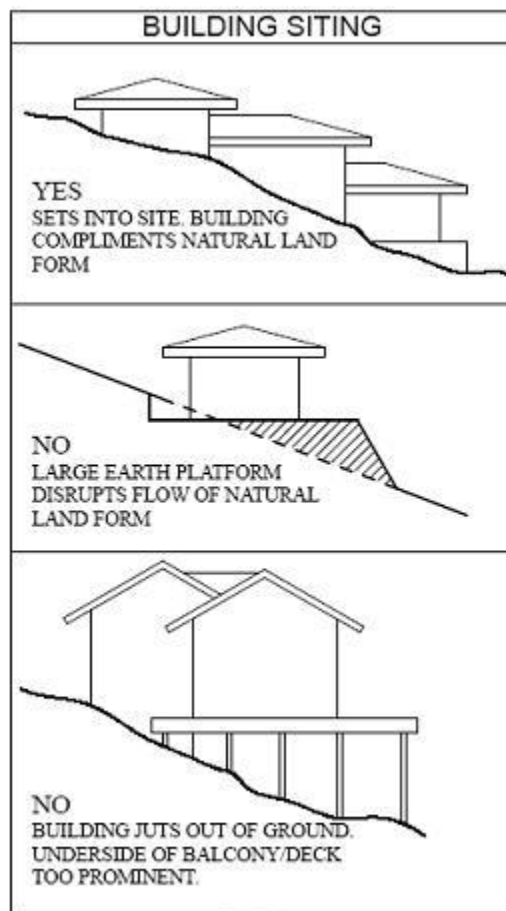


Fig. 3.1-1

3.2 House Siting

3.2.1 General

Preservation of large existing trees, rock outcroppings and natural vegetation shall be a prime consideration in house location. The house should be centered in the setback area or building envelope as much as possible. Siting close to the setback lines should be avoided except for the entrance from the access road. As much distance as possible should be provided between the house and the edge of the building envelope, or existing houses on adjacent lots. There are no pre-approved view corridors designated in Roxborough Park, and neither preservation of existing views, nor maintenance of existing privacy can be guaranteed.

It is in the best interest of the owner and the community to minimize and limit the size of the construction area. Therefore, the maximum allowable perimeter of construction and grading disturbance must be clearly designated on the site plan inclusive of utility line cuts and dirt storage areas. The designated areas must be marked on the site with acceptable marking material prior to any grading, construction, or excavation. There may not be any disruption or use of property outside this perimeter.

3.2.2 Infill Areas

Infill design is the siting and design of new houses to be situated on lots where there are homes existing on adjacent or near-by lots. Sitings and design, including color, are affected by these existing homes. A home design, which may be suitable on a site where there are few or no homes in the area, may not be acceptable on an in-fill site. It is essential that the Architect/Designer visit the building site prior to initiating the design. A meeting with the DRC can be arranged through the DRC Coordinator if, after reading the DRD and the site visit, the Architect/Designer feels he/she needs further guidance.

3.3 Drainage, Grading and Retainage

Re-contoured slopes over 2:1 must be retained with architecturally acceptable retaining walls. Individual retaining wall heights are nominally limited to a maximum height of four feet (4'). Retainage requiring heights in excess of four (4') must be properly terraced and designed by a licensed engineer or licensed architect with appropriate drawings and documentation, wet stamped and furnished to the DRC for approval.

Retaining walls may be constructed of natural stone, stucco, or new brown pressure treated timbers. Cinder blocks and exposed concrete walls must be textured, colored and faced. The newest generation of earthtone, stone-like concrete landscape block that vary in size with a textured, tumbled appearance, may be acceptable. All retaining wall material must be compatible with the house and surrounding environment. Railroad ties, used timber or plain concrete landscape block are not acceptable.

Adequate slopes away from the house foundation must be maintained to provide proper runoff. As a minimum, the finished grade ten feet (10') from the house should be one foot (1') below the grade at the house. Re-contouring should minimize surface runoff to neighboring properties or common areas so as not to increase the runoff to these properties or cause soil erosion. All plans must comply with Douglas County Design Erosion Sediment Control (DESC) requirements.

It is the sole responsibility of the Lot Owner to ascertain that any alterations made to their undeveloped lot do not cause off-site drainage problems. Alterations include vegetation removal, grade changes, and any type of new structure. The DRC may, at its option, request a certified and stamped drainage or hydrology report. Owners and builders will, in each case, consult with the Foundation regarding the appropriate handling of drainage onto surrounding roads and will install at the owners' expense all drains, culverts, drainage channels and other appropriate drainage control measures as directed by the RPF and/or Douglas County.

3.4 Setbacks

Minimum setback requirements for any lot are controlled by applicable plats and other recorded documents in the Douglas County Recorder's Office as well as by Special Setback Requirements adopted by the RPF Board of Directors, set forth below. For any lot, the more restrictive setbacks will apply. It is the obligation of each property owner to obtain copies of recorded County documents relating to setbacks and to include those with the initial Sketch plan submission. In exceptional circumstances relating to the specific configuration of a specific lot, the Roxborough Park DRC may waive one or more of the Roxborough Park Special Setback Requirements. Any intrusion of patios, decks or enclosures into setbacks may be considered by the DRC on an individual basis, and must be in compliance with Douglas County Requirements.

SPECIAL ROXBOROUGH PARK SETBACK REQUIREMENTS

Except for lots with platted building envelopes or platted zero setbacks, front and rear setbacks will be twenty-five feet (25') and side setbacks will be fifteen feet (15'). All setbacks from Roxborough Drive or Roxborough Drive North will be

twenty-five feet (25'). Minimum building separation on lots with platted zero setbacks, or on any other lot, will be ten feet (10').

3.5 Driveways

Driveways shall have a slope consistent with the slope of the terrain and not exceed a 10% grade wherever possible. Driveways should follow natural contours and wind around natural features such as trees and rock outcropping. Particular care must be exercised to prevent undo destruction of large trees or mature scrub oak. Retaining walls may be required by the DRC to support driveways in lieu of fill in order to preserve existing vegetation. Excessive driveway fill is discouraged. Driveway entry should be as narrow as practical (i.e. 12') except where entry to right-of-way requires additional paving. Driveways must be paved from the road all the way to the garage with a hard surface material such as asphalt or concrete. Textured or colored driveway material may be required on specific sites. Only one driveway access per lot is allowed.

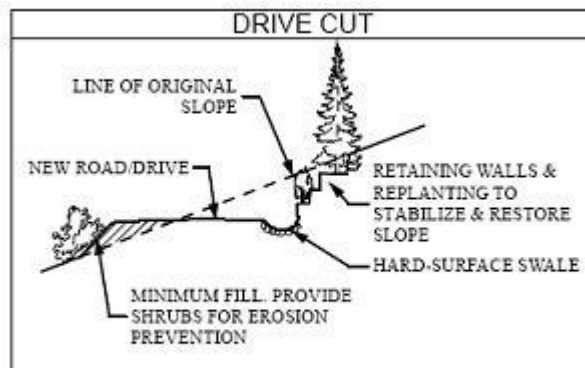


Fig. 3.5-1

3.6 Garage Access Area

The area adjacent to the garage must be paved with a hard surface material equal to the width of the garage. Slopes away from the garage must be greater than 2% and less than 6% wherever possible.

3.7 Parking and Turnaround Areas

Each site must provide at least two (2) automobile off-street parking spaces, or one (1) in the case of a three-car garage, in addition to the garage access area. A turnaround area, particularly on sites with long driveways (i.e. greater than thirty feet (30') from the garage to the existing roadway), and on sites which exit onto major roadways, is required to allow automobiles exiting from the garage to turn around and exit the site in a forward manner. Driveway turnaround areas should be located, where possible, so cars parked outside of the garage (i.e. visitor's cars, etc.) can access the turnaround area to allow exiting the drive in a

forward manner. The parking and turnaround areas may be the same area, provided simultaneous garage access or egress for two cars is not impaired. Gravel turnarounds and parking areas are discouraged, but may be considered for DRC approval on a case by case basis provided they have appropriate edging installed to retain the gravel and the gravel is installed with adequate underlayment or means to prevent growth of weeds or any type of vegetation through the gravel surface.

3.8 Road Entry

Driveway construction shall not interfere with established drainage or road grades. Where driveways cross more than ten feet (10') of right-of-way to access the improved road surface, a license agreement with RPF is required. Culverts are required in most cases to accommodate drainage. Culverts must extend a minimum of four feet (4') on either side of the driveway and be a minimum of fifteen inches (15") in diameter. The upstream end shall have a tapered end section while the downstream end shall have a minimum of four feet (4') of at least six-inch (6") size rock riprap installed. Where culverts are not necessary, a hard surface drainage pan is required to carry runoff water. Details must be approved by the Maintenance Supervisor at the actual building site, at the time of construction.

3.9 Snow Storage Area

A snow storage area of 400 square feet, nominally twenty feet (20') by twenty feet (20'), located adjacent to the roadway may be required on the site. This snow storage area is for use by the Foundation to store snow from the roadway. The Roxborough Park Maintenance Supervisor dictates this requirement. No landscape improvements more than six-inches (6") high, approach lights or signage is allowed in the snow storage area.

3.10 Antennas, Dishes and Flagpoles

All TV, radio or special communication antennas, satellite dishes or aerials, as permitted by the Covenants, shall be concealed as much as possible from adjacent property and roads. Flagpole installation is limited to one pole per lot and must have prior written approval of the DRC. A ground flagpole can not exceed a height of fifteen feet (15') with a maximum 3'x5' American flag. Building mounted American flags and flagpoles will be reviewed individually and will generally be much smaller in size.

3.11 Recreational and Play Equipment

Installation of all playground equipment, jungle gym's, playhouses, backboards, tennis courts, volleyball pits, and similar recreational and play equipment as free-standing improvements or on the house will be screened from view from

neighboring properties and roadways, be. of a color compatible with the house and/or surroundings, be constructed primarily of wood, where appropriate, and have prior approval or the DRC before installation. Trampolines will be installed so that the surface of the trampoline is level with the surrounding grade.

3.12 Outdoor Barbecue or Kitchen Facilities

Permanent outdoor barbecue or kitchen facilities require approval by the DRC.

3.13 Pools and Spas

Above ground pool structures are not allowed. Pool decking for in-ground pools must be level with the finished grade. All pool equipment shall be screened from the view of neighboring property and roads and located in such a manner so as to minimize noise. Spas may be located above ground, on at-grade patios, or on decks. The spa and any associated equipment must be situated adjacent to the house and be screened and sound buffeted as completely as possible from view from neighboring properties and roadways. The screening may be appropriate evergreen type vegetation or an enclosure compatible with the house. The location and the screening must have prior approval of the DRC.

3.14 Approach Signage and House Numbers

Each residential home is required to have a lighted house number that is visible and legible from the access roadway. The number, in addition to identifying the street number assigned to the residence, is to allow fire and emergency personnel to quickly locate the home. The number must be located within twenty feet (20') of the edge of the access roadway. The number may be located on the house if it is within twenty feet (20') of the edge of the access roadway.

Where the house is located beyond twenty feet (20') of the edge of the access roadway, freestanding signage containing the house number, illuminated by a DRC approved light, is required.

The signage should be located inside the property line but outside of any utility easement and as near to the driveway as practical. When encroachment cannot be avoided a signed license agreement is required with the RPF and a copy of this agreement kept with the lot file and recorded at Douglas County.

The signage must be sized so as to allow installation of house numbers whose minimum height is four inches (4") and whose maximum height is six inches (6"). The numbers must be of an appropriate contrasting material and color with the surface upon which they are mounted. The signage must be designed and built using natural materials, be compatible with the design of the house, and have a professionally constructed appearance.

The maximum allowable height of the signage is five (5') feet.

3.15 Rock Removal

All efforts must be taken to preserve any visible, existing, aboveground rock formations. Where large rock outcroppings occur on the building site, the house must be located so removal of the aboveground visible rock outcropping is minimized. Where this cannot be accomplished due to the confines of the lot, and the setback requirements, the owner or owner's representative must request a special meeting with the DRC before, or at the time of, Sketch submittal for the purpose of determining appropriate removal of above-ground visible rock outcroppings.

The use of explosives is prohibited in Roxborough Park.

3.16 Other Regulatory Agencies' Site Requirements

The site design must be in compliance with all Federal, State and local agencies' requirements.

4.0 BASIC BUILDING DESIGN REQUIREMENTS

4.1 House Configuration

HOUSES SHOULD NESTLE INTO THE LAND FORM AND APPEAR TO BE PART OF THE EXISTING LAND FORM. HOUSES MUST BE UNOBTRUSIVE TO THE LANDSCAPE, MAINTAINING PREDOMINANTLY HORIZONTAL LINES AND AVOIDING A DOMINATING APPEARANCE.

Buildings in native grass and scrub oak areas in general should present a low horizontal appearance. More massive, taller houses broken with appropriate horizontal elements may be appropriate in areas where large rock outcroppings occur or in close proximity to steep terrain (i.e., against the National Forest). Buildings should be sited so the long dimension of the building is perpendicular to the slope of the site (i.e. the long axis parallels existing contour lines). Dwellings with an unfinished appearance or rugged cabin finish or design are not permitted. A-frame type structures, log homes, geodesic domes and dwellings on stilts are not permitted.

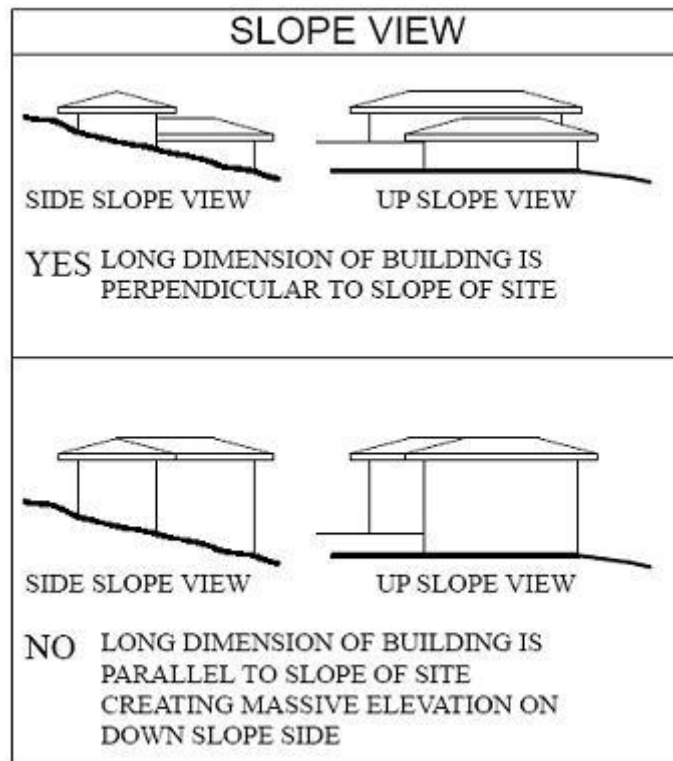


Fig. 4.1-1

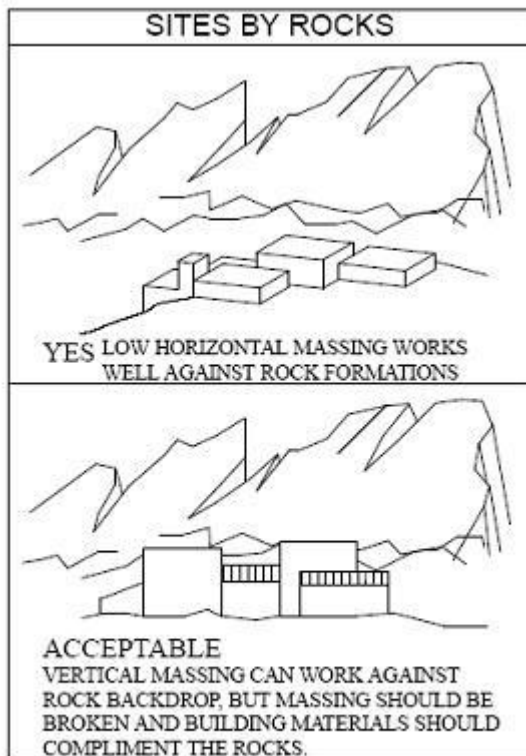


Fig. 4.1-2



Fig. 4.1-3

4.2 Size/Square Footage

There is no mandatory minimum house size. Smaller homes should be constructed on small lots, larger homes on larger lots.

4.3 Height of Structures

It is the goal of the DRC to limit the height of homes on flat and gently sloping lots to a maximum of thirty (30) feet. This height is determined by the distance from the lowest visible house/finished grade line to the top of the ridge of the highest portion of the house. The DRC will review site compatibility, preservation of views from roadways, common areas and other building sites and recommend adjustments wherever, and if feasible.

However, there are no pre-approved view corridors designated in Roxborough Park and neither preservation of existing views, nor maintenance of existing privacy can be guaranteed or required.

Structure heights shall be limited to two (2) stories plus a roof on flat and gently sloping sites (see Figure 4.3-1). Structure heights for houses located on steeply sloping sites will be evaluated on an individual basis. Ridgelines stepped back substantially from the building face will be considered. In no case will continuous

vertical building elevations of more than two (2) stories be allowed. Building elevations greater than two (2) stories in height must be broken by horizontal setbacks (Refer to Section 3.1, Fig 3.1-1). Designs, which result in excessive vertical massing, will not be approved. The DRC reserves the right to require a lower building height if, in the opinion of the DRC, the proposed structure would be detrimental to the design integrity of the community.

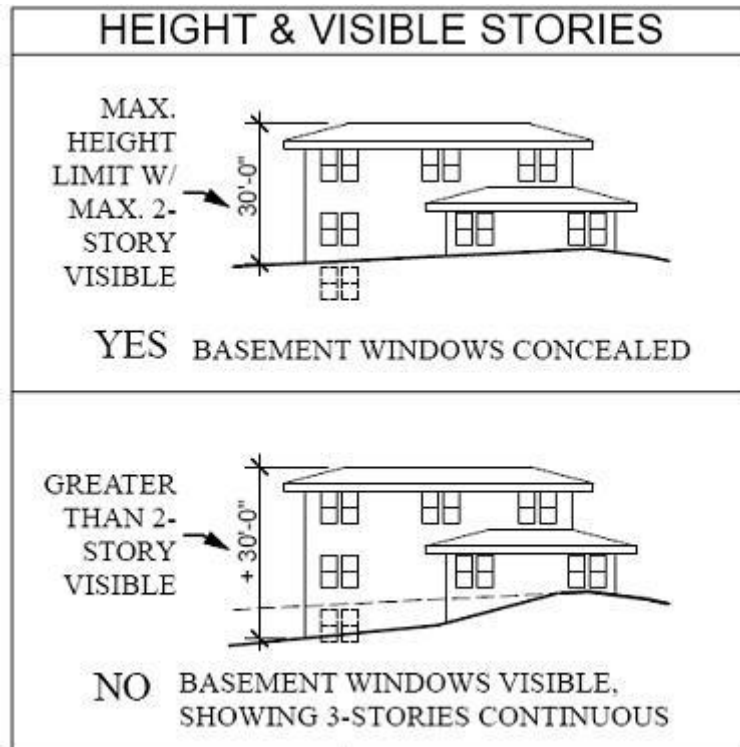


Fig. 4.3-1

4.4 Golf Course and Roxborough Drive Sites

Sites adjacent to golf course property, Roxborough Drive and Roxborough Drive North shall be design-sensitive so that the completed house, site and landscape design presents an effect that is not overpowering as viewed from Roxborough Drive, Roxborough Drive North or the golf course. No structure shall exceed two (2) visible stories plus a roof, as viewed from Roxborough Drive, Roxborough Drive North or the golf course.

The street side access elevations of homes on the golf course are further limited to one (1) story. Golf-course site homes are limited to single-story with walkout basement designs (site slope permitting) with low pitch roofs.

4.5 Exterior Color

The color of exterior materials will be generally subdued to blend with the colors of the natural landscape. Muted earth tones are recommended. Accent colors and materials, used judiciously and with restraint, may be permitted. Whites and large expanses of pastels are not allowed. White window trim, frames or white clad windows are not allowed.

4.6 Color of Building Projections

The color of all projections including, but not limited to, chimney flues, gas meters, vents, gutters, downspouts and utility boxes shall match the color of the surface from which they project.

4.7 Materials

All materials must be of a quality commensurate with the building design. Exterior surfaces will be of materials with colors and textures that are compatible with the natural landscape (See Fig 4.7-1). Any exterior material (i.e. siding, trim roof, yard enclosures, retaining walls, etc.) may be restricted or precluded for use in any area in Roxborough Park. Wood surfaces must be finished with a pigmented stain or paint. Redwood decks require sealing. All masonry type material must return a minimum of two feet (2') around an outside building corner.

Lapped hardboard siding, vinyl siding, lapped aluminum siding, hardboard sheets, imitation stone-veneer sheets and plywood sheets are specifically not acceptable. The use of glass block should be limited.

New exterior finish products are constantly being introduced into the construction industry. The products and any other alternative exterior finish product currently on the market will be reviewed on a case by case basis. Highly reflective materials and finishes are not acceptable.

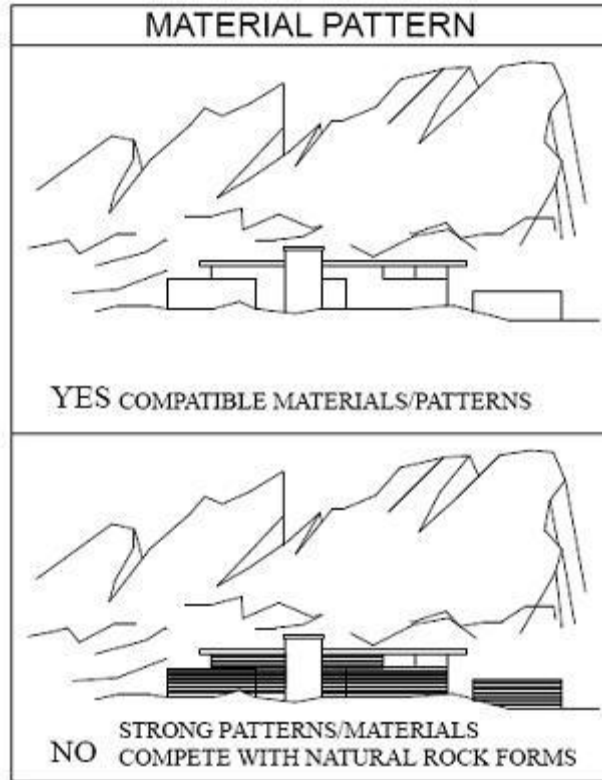


Fig. 4.7-1

4.8 Roofs

The maximum pitch of the primary roof section will not exceed 6/12 without explicit written approval of the DRC. Approval by the DRC is based upon the visual impact of the roof on the lot and on neighboring lots, dwellings, roads and open space. Roof forms and slopes should follow the natural slope of the terrain. Gable roofs should be used sparingly. Appropriate overhangs (i.e., two feet (2') or more) are required to provide a low, horizontal appearance.

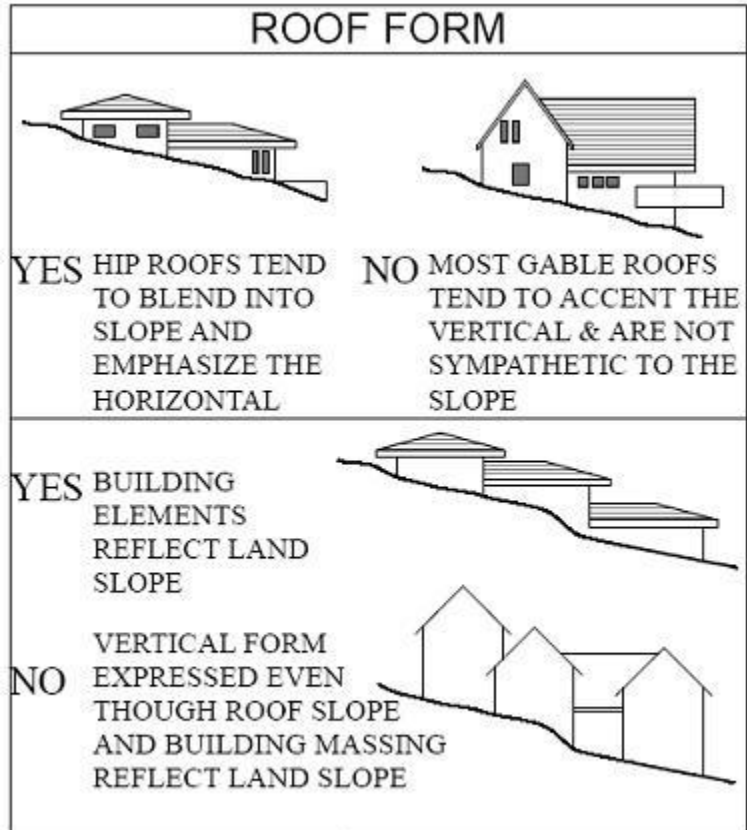


Fig. 4.8-1

All roofing material must meet Douglas County or quasi-municipal entity having jurisdiction over the property. Requirements for fire rating, as a minimum, should be fire rated class “A”. Wooden shakes or asphalt shingles are not allowed.

The criteria for approval of roofing material are, in order of importance: 1) appearance; 2) demonstrated appearance durability; 3) tested appearance durability. The material should have a textured, dimensional, natural appearance (i.e., tile), low reflectivity and be earth tone in color. Color should be impregnated into the material and have demonstrated durability or certified life-test date demonstrating its color fastness in the Roxborough Park environment, including high winds, rain, hail and solar radiation above 6,000 feet altitude. Acceptable roofing materials may include clay tiles, concrete tiles, slate tiles, and other similar appearing materials compatible with the design of the building. Materials which have a flat, non-dimensional appearance, such as asphalt shingles, are not acceptable. The material and color of the roofing material are subject to DRC approval.

4.9 Flat Roofs

Flat roofs are allowed. Roof protrusions should be kept to a minimum and not be visibly obtrusive. Where possible, vent protrusions should be grouped and screened by a single enclosure whose material is compatible with the house design and whose color is the same as the surface from which it emanates. Any wrapping of roofing material up the side of the parapets above the ballast must be painted the color of the ballast or the inside of the parapet or otherwise disguised. All flat roofing must be covered with subdued earthtone color stone ballast, minimum stone size 1/2". The material and color of the roofing material are subject to DRC approval.

4.10 Garage Doors

The visual impact of garage doors will be de-emphasized by such measures as siting of the garage doors, overhangs or projections, special door facing materials or design, landscaping, berming, etc. Materials and design of garage doors must be compatible with the architecture and color of the house.

Houses with three car garages must have the garage door entries staggered or the garage entries treated appropriately with architectural features.

4.11 Foundation Walls

All foundation materials must follow the finished grade slope. No more than six inches (6") of foundation shall be exposed below the finish product. Exterior stone/masonry finishes are to be grounded. Other wall finishes may terminate 6" maximum above grade. All exposed foundation walls must be painted or textured to match the adjacent finish. **The following note must appear on the building elevation drawings: "Exterior stone/masonry finishes are to be grounded. Other wall finishes may terminate 6" maximum above grade. All exposed foundation walls must be painted or textured to match the adjacent finish."**

4.12 Exterior Mechanical Equipment

All exterior mechanical equipment such as swamp coolers, air conditioning condensers, heat exchanger units, or solar panels may be allowed but must be compatible with the house, and have prior DRC approval. All such equipment must be permanently enclosed by appropriate material or screened and sound buffeted by evergreen type plantings approved by the DRC. Window air conditioning units and swamp cooler window units are prohibited.

4.13 Exterior Enclosed Areas (Private Enclosures)

Fencing of any type is not allowed. Exterior enclosures must be designed to be integral with the house itself and constructed of the same materials or materials compatible with the exterior of the house and may not exceed 5 feet (5') in height. Exterior enclosures, attached with the residence structure, for the specific purpose of privacy will be reviewed by the DRC for aesthetic appearance and reasonableness of the area enclosed. Enclosures for purposes other than for privacy or the screening of mechanical equipment as referenced in 4.13 will not be approved. Plantings to visually soften the enclosure may be required.

4.14 Decks

Decks and deck supports shall be constructed of materials compatible with the basic house structure. Solid deck enclosures constructed of materials the same or similar to the house siding are preferred. Where deck enclosures are not solid (i.e., picket type enclosures, etc.) the horizontal members (i.e., upper and lower deck railings, etc.) shall be substantial and project a dominant horizontal appearance. Deck support posts, where required, shall have a substantial appearance which may be considerably greater than the structural integrity required. The actual dimensions of the support structures depend upon the height of the externally exposed portions of the support structures.

In general, deck supports greater than eight feet (8') high should be a minimum of 16" x 16" or sixteen inches (16") in diameter. The taller the supports, the greater the cross sectional area. Avoid exposing understructure elements such as decking supports and cross bracing. Decks whose undersides are readily visible from neighboring sites, roadways, common areas of the golf course, must be treated, painted or stained as approved by the DRC. Visibly exposed 4"x 4" support posts for heights greater than two feet (2') are not acceptable.

See Subsection 4.21 Exterior steps.

4.15 Accessory Site Structures, Exterior Storage Structures and Greenhouses

Exterior storage structures and accessory site structures (i.e., gazebos, greenhouses, etc.) shall be compatible with the dwelling and have prior DRC approval. Appropriate screening using properly designed area enclosures and/or evergreen type trees or shrubs must be provided. Color, location and screening of the equipment are subject to prior approval by the DRC. Use of bright or multi-colored material will not be approved. These structures should not be closer than ten feet (10') to the property line

4.16 Exterior Lighting

Exterior lighting must be subdued so as to avoid creating a nuisance for neighboring properties or roadways and to reduce light pollution of the night sky. In all cases, exterior lights are subject to approval of the DRC and should be of a design compatible with the structure. Cut sheets are required on all exterior lighting submittals.

4.16.1 Building Lighting

Building lighting is defined as all light sources that are attached to a building. The lighting may be soffit downcast, carriage, or sconce type with opaque glass. The light bulb must not be visible except for the soffit downcast type. The soffit downcast type must not have clear glass and should present a 'soft' appearance. The quantity of building lights should be limited to use at doorways, "as required by code", and for covered patios and decks. Excessive lighting will not be approved.

4.16.2 Security Lighting

Lighting for purposes of security is allowed. However, all security lighting must be automatically operated by sound or motion sensors and must cast light downward. Floodlight type bulbs are allowed for this application. Sensors must be located to minimize the triggering by normal household activity. Repeated triggering for non-security reasons will require the relocation of the sensors. Use of these lights for yard lighting by any means is not allowed.

4.16.3 Landscape Lighting

Landscape lighting is defined as all light sources that are not attached to a building. This lighting should be downcast and subdued. The light bulb must not be visible from neighboring properties, streets, or common areas. It is recognized that the topography in Roxborough Park creates challenges to achieve this and must be taken into consideration by the applicant. Landscape lighting is generally allowed for safety purposes only, although accent lighting that does not cause excessive light or create a nuisance may be acceptable. Free-standing landscape lighting fixtures are to be downcast only and are not to be taller than eighteen inches (18") from grade to the top of the fixture. Floodlight type bulbs are generally not approved.

4.17 Skylights

Skylights must be of a flat glass design. Bubble type glass skylights are not permitted.

4.18 Sun Shades, Arbors, Trellises and Awnings

The vertical support elements of these structures shall be of wood, brick, rock or stone. If partial screen walls are used in these structures, they shall be of natural materials.

The following materials shall be used for the roof covering of these structures:

1. Material matching the roof of the existing building.
2. Wood
3. Fabric in solid natural earthtones (i.e., subdued stripes may be allowed) as approved by the DRC.

For all structures in this Section the maximum height from the peak of the roof covering to the highest point of the existing grade or from the top of a deck if the deck is greater than three feet (3') above finished grade shall not exceed twelve feet (12').

Height and placement of structures in this section shall be subject to the approval of the DRC and will be designed so as to minimize visual impact to the adjacent lot's view.

All exposed surfaces shall match or be compatible with the colors of the existing dwelling or natural landscape.

Unacceptable construction materials for structures in this section include, but are not limited to:

1. Metal structures and supports, including metal awnings.
2. Plastic and fiberglass.
3. Inflatable structures.

4.19 Chimneys

Chimney design must be appropriate with the overall design of the house and approved by the DRC.

4.20 Entryways

The front entry must be designed to be compatible with the massing and architectural detail of the house. Overly elaborate, ornate or massive entries or entries with tall vertical elements are not allowed. Brightly colored doors are discouraged and must have prior DRC approval.

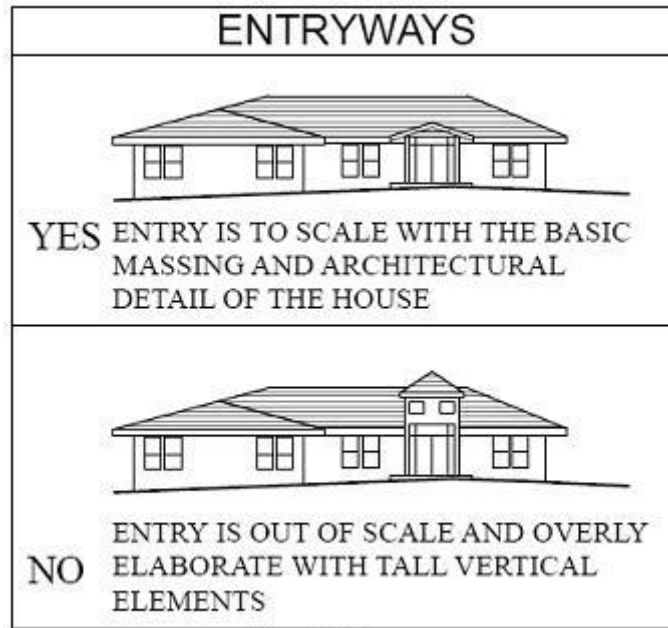


Fig. 4.20.1

4.21 Exterior Steps

Exterior steps leading from auxiliary entryways or decks to finished grade are discouraged. When an owner desires such exterior stairway, the stairway must be oriented such that the slope of the stairs is aligned parallel to the side of the building, and the risers must be closed. The step design, material and color must be compatible with the architecture of the building.

4.22 Window Settings/Trim

All windows are required to have appropriate exterior trim or be sufficiently recessed to provide pleasing shadow lines compatible with the architecture of the house. Windows must be either recessed a minimum of two inches (2") (i.e., the face of the sash must be recessed two inches (2") from the finished adjacent exterior wall), or the window must be trimmed with appropriate wood or stucco casing. Where applicable the casing or trim must be a minimum of four inches (4") in width. These requirements may be modified to fit a unique architectural style, as determined by the DRC.

4.23 Areaways (Window wells)

New treated timbers or concrete areaways are preferred. Areaways should protrude as little as possible above finished grade. Metal areaways which protrude above the finished grade must be painted to match the surface on which it is attached to.

5.0 LANDSCAPING DESIGN REQUIREMENTS

5.1 General

The objective of landscaping in Roxborough Park is to preserve the natural appearance of Roxborough Park and the maintenance of such appearance. Landscaping materials must be installed so as to not define property lines. Contouring for landscape effects is subject to the same limitations imposed on site design; see Section 3.3 (i.e., no slopes greater than 2:1, maximum retaining wall height is four feet (4'), etc.). All re-contoured slopes must be properly re-vegetated. Planting of indigenous shrubs and trees is encouraged. Landscaping that requires substantial irrigation, such as blue grass, shall be limited and is discouraged.

In addition, the following items are to be considered in landscape planning:

1. Avoid creating large manicured areas. Trees or shrubs are not to be planted in rows.
2. Minimize disruption of the natural terrain (by grading) and by controlling vehicular wear and tear.
3. Re-vegetate and restore ground cover for erosion control and appearance using seed mix compatible with the Roxborough environment to duplicate the natural grasses. Some areas may require soil stabilization by means of erosion blankets. Recommendations for seed mix and plantings are available at the RPF office.
4. Use primarily indigenous species of plant materials.
5. Select man-made elements that blend and are compatible with the land.
Rock shapes and colors should be compatible with the other landscaping material and approved by the DRC. **All areas of exposed mulch (i.e. rock, wood, etc.) greater than 10 square feet (10sq.ft.) at plant maturity are required to be planted (i.e., perennials or shrubs) with the exception of the first 5 feet from the face of the building foundation wall. Dyed mulch is not an acceptable material.**
6. When possible, preserve existing or natural drainage paths.
7. Conserve and protect trees, shrubs, topsoil, rock formations and unique landscape features. Permission for removal of any trees on private property, other than those required to be removed for construction or for fire mitigation purposes of the residence as approved on the preliminary or final landscape plans, must be obtained from the DRC. Those wishing to remove any trees outside of the building area as shown on the approved Site Plan

- must contact the DRC for approval with a written request and supporting reasons for removal.
8. Dead and/or diseased trees are to be removed by the property owner. DRC approval is not required.
 9. Ornamental manicured species such as bonsai, topiary, or pom poms are not allowed.
 10. Cobblestone defined as river rock 2" or larger may only be used to define a streambed or drainage swale and in the bottom of water features. The cobblestone must be multi-colored. No white cobblestone is allowed.
 11. Trees or shrubs are not to be planted where, when fully grown; they impair the egress view from the driveway or views around street corners.
 12. All landscaping is to be installed no later than fourteen (14) months from the Final Working Drawing approval date.

Due to damage which may be caused by the large population of deer at Roxborough Park, special attention should be given to the placement and type of plants installed.

5.2 Landscape Plan (also see Subsection 5.5)

A detailed landscape plan is required at the time of your preliminary design review submission or for any substantial landscape alteration to existing homes. The plan should be prepared by an overlay of the site plan (1" = 10') including all existing and proposed site grading. The drawing must have a north arrow oriented to the top or top-right of the sheet. Footprints of all proposed site improvements including decks, porches, driveways, walkways, enclosures and all required construction retaining walls, etc. must be shown on the drawing. Indicate the landscape treatment to be applied to the areas where all utility lines running to the house are made. Where utility lines running to the house must pass through existing vegetation (i.e., scrub oak, etc.) this disturbed area must be re-vegetated with lowland natural dryland grass seed and clearly noted on the plan.

The plan must also include:

1. Landscape retaining walls (heights and materials).
2. Species of plants including botanical name; planting size (i.e., height or caliper of trees or container size of shrubs and perennials; plant quantities).
3. Ground cover treatment (i.e., mulch type; plant type; if rock, rock size, type/color).
4. Walkway treatment (i.e., hard surface, stepping stones, edging, etc.)
5. Edging material to be used (i.e., size and type).

6. Type of grasses to be installed.
7. Boulders/Rock (i.e., type, size and color to be installed).
8. Material/color of other landscape embellishments to be used and natural features to remain.
9. A complete landscape legend must be noted on the plan.

Minimum planting sizes are as follows:

1. Aspen trees 1" caliper or 8' to 10' in height
2. Evergreen trees 6' high
3. Deciduous trees 2" caliper
4. Shrubs 5 gallon container size
5. Perennials or ground cover 1 gallon container size

In areas where plantings are for screening purposes the size of the plantings will be determined by the scale of the structure being screened.

5.3 Landscaping Maintenance

All property owners are responsible for maintaining their property and are encouraged to maintain the area between their property line and the existing roadway surface in a clean and orderly condition. The RPF has the authority to enter private property to cut, spray, or remove noxious weeds and to restore the property to clean and orderly conditions at the owner's expense pursuant to Subsection 8.1 of the Roxborough Park Amended and Restated Protective Covenants.

5.4 Drainage Improvement and Maintenance

As a result of the site improvements (i.e., the house and hard surface areas in particular) a significant increase in water runoff may be created. Adequate drainage paths and proper re-vegetation will be required to help control the runoff and erosion to adjacent properties. Methods of temporary and permanent erosion control must be detailed on the site and landscape plan.

Drainage and erosion control during construction must be in compliance with the Douglas County DESC requirements (See Subsection 3.16). Erosion fencing is required during construction on all disturbed areas with slopes greater than 1.5 to 1.

5.5 Remedial Plantings

Areas of building sites or home lots that have been disturbed without proper authorization must be restored to their previous condition or planted in accordance with an approved landscape plan. The owner will be required to

replace any scrub oak, trees, or any other naturally occurring vegetation or existing rock out cropping, with appropriate plantings or other landscape features.

The owner must submit a plan for replacement of the damaged or destroyed vegetation for DRC approval. The plan must include the type, size, quantity and location of the landscape items, which will be of comparable size and species as those that were damaged, destroyed, or removed.

6.0 QUALIFICATIONS OF ARCHITECTS, DESIGNERS AND BUILDERS

6.1 Architects

Architects must be licensed to practice in the State of Colorado and submit supporting documents to the RPF office.

6.2 Designers

The following criteria will be considered in evaluating whether a building designer without an architect's seal will be allowed to design homes in Roxborough Park:

1. Possession of a Bachelor of Architecture Degree from an accredited University.
or
2. Certification from the American Institute of Building Design.
or
3. Submission of a portfolio of examples of past residential design work done by the applicant, along with a letter attesting to the authorship of the designs.

Please Note: The possession of any of the above does not automatically qualify a designer but is merely evidence of design experience. The DRC will evaluate the information furnished and inform the applicant of its decision.

6.3 Builders

All builders must also submit a copy of a current Douglas County Builder's license.

6.4 Exclusions

The DRC has the right to exclude from further work in Roxborough Park Architects, Designers, Builders or Landscapers who have demonstrated by their submittals, previous or current work in Roxborough Park their inability to comply with design guidelines, schedules, required submittals and required deposits. Architects, Designers, Builders and Landscapers may also be excluded from future work in Roxborough Park if they have demonstrated or exhibited in prior submittals and construction projects in Roxborough Park their inability to comply with, or their resistance in complying with, the Roxborough Park Design Rules or other relevant Foundation Rules and Regulations.

Nothing contained herein shall be deemed to approve or warrant architects, designer, builder or landscaper's performance or quality of work or suitability for the intended purpose.

7.0 PROCEDURES & SUBMITTAL REQUIREMENTS

7.1 Advanced Preparations

7.1.1 Site Preparation

No grading, removal of topsoil, rocks, trees, shrubs or any vegetation shall be performed, and no construction within Roxborough Park shall begin, until the final design is approved by the DRC in writing. Additionally, a building, excavation, or foundation permit must be obtained from the Douglas County Building Department and submitted to the Foundation office. Hand cutting of scrub oak to allow access to the lot for purposes of determining house siting or soils testing is permitted only with prior approval of the DRC.

7.1.2 Drawing Preparation

All drawings must be prepared by a licensed Architect or an approved Designer. Those portions of the Preliminary drawings and Final Working Drawings which relate to major engineering considerations, including drainage design, must be prepared by an engineer or architect licensed to practice within the State of Colorado.

7.1.3 Information Packet

Prior to preparation of plans for any home, a complete information packet for DRC procedures must be obtained from the DRC Coordinator at the RPF office.

The information packet contains instructions, forms, checklists and a fee schedule which must be adhered to in their entirety by the appropriate parties when making all of the three required plan submissions; Sketch, Preliminary, and Final Working Drawings.

7.1.4 Fee Schedule

A schedule listing all fees and required insurance certifications is available from the RPF Office and is included in the information packet.

7.1.5 Checklist

The checklist in the packet must be completed by the applicant indicating conformity to the rules and regulations at the time of each submission. Any materials not completed or provided at that time will result in an incomplete submission, which may not be reviewed by the DRC.

7.2 Owner / Architect Design Review Committee (DRC) Meeting

7.2.1 Clarification of Submittals Meeting

Should property Owner(s) or Architect/Designers require clarification regarding written directions or comments received from the DRC in response to plan submittals, they may make arrangements with the DRC Coordinator. Similarly, meetings to discuss matters that cannot be adequately addressed in writing, or a plan re-submittal, can be arranged through the DRC Coordinator. The meeting request will be treated as a “submittal” and scheduled in the queue system of the regularly scheduled DRC meetings. The Owner and Architect/Designer must communicate in writing the particular subject they want to discuss with the DRC and organize their material so the meeting can be conducted in a timely manner.

7.2.2 Plan Submissions

The Sketch, Preliminary, and Final Working Drawings must be submitted separately to the RPF office. The Sketch submission must be approved before submission of Preliminary drawings. The Preliminary submission must be approved before submission of Final Working Drawings.

Each submission must be accompanied with a properly completed CHECK LIST and appropriate fee.

7.3 Review Scheduling-Queue System (First In, First Out)

All submissions to the DRC are processed in order of priority using a queue system. Each is placed in the queue based upon the time of receipt of the submittal, re-submittal or approved meeting as recorded by the DRC Coordinator and are treated with equal weight.

Plans that are in the queue before noon on Thursday prior to the DRC meeting will normally be reviewed at the DRC meeting.

Changes or minor additions to buildings under construction, color boards, landscape changes or other minor items (as determined by the DRC Coordinator) requiring DRC approval may be allocated priority in a separate Queue. These items may be reviewed and ruled on by the DRC as a separate action and the Owner-Architect/Designer notified accordingly.

7.4 Design Review Committee (DRC) Review Actions

Following review of submissions, the DRC will provide a written reply of its findings to the Owner within ten days (copies of the written reply will be provided to the Architect/Designer) for all submittals.

The reason(s) for disapproval or conditions required for re-submissions, or subsequent submissions, will be stated in the written reply.

The DRC will retain one copy of the submittal for its files. Extra copies will be available for the applicant to pick up at the RPF office for five days from the date of review and disposed of thereafter. All other extra plans submitted for review will be disposed of immediately, unless otherwise directed by the applicant prior to the DRC meeting. All color boards and/or other materials submitted for DRC review will be retained by RPF until completion of the project and disposed of thereafter.

7.4.1 Sketch Plan Review Findings

The Sketch review results in one of the following three determinations by the DRC:

- A. CONCEPT ACCEPTABLE**
- B. CONCEPT ACCEPTABLE WITH CONDITIONS**
- C. CONCEPT NOT ACCEPTABLE**

CONCEPT ACCEPTABLE – implies that the basic house design concept and the home’s general siting are acceptable as illustrated in the submittal. This acceptance does not mean the design as subsequently detailed for its Preliminary Submittal will be approved automatically. Precise house siting elevations with respect to USGS data, and house location within the site, will be evaluated based upon the topographical data and house lot staking required for the preliminary submittal. Detailed evaluation of architectural features, or lack of features, is also deferred until the preliminary review.

CONCEPT ACCEPTABLE WITH CONDITIONS – generally implies that all the criteria for the sketch plan submission are met, except for a few necessary changes. This determination may require sketch re-submittal or be sufficiently satisfactory to allow the applicant to

proceed to the preliminary design, incorporating the conditions as specified in the written findings. The applicant will be apprised in writing of the need to re-submit or proceed with the Preliminary design.

The applicant must understand that a “Concept Acceptable with Conditions” determination includes specific written direction about item(s) necessary to meet drawing submission requirements and/or specific deficiencies of the design as submitted. Design suggestions may be included in the comments accompanying the “Acceptable with Conditions” determination. These comments may upgrade the design to a condition, which allows it to meet the minimum standards of Roxborough Park. However, it is not the DRC’s responsibility or intent to redesign the applicant’s home.

CONCEPT NOT ACCEPTABLE – notifies applicants that the design as submitted is not in compliance with the rules and regulations and/or the sensitivity to the basic design concepts of Roxborough Park. The DRC will not reconsider review of designs with this designation.

7.4.2 Preliminary Plan Review Findings

Preliminary plan review will result in one of the following determinations by the DRC:

- A. APPROVED**
- B. APPROVED WITH CONDITIONS**
- C. NOT APPROVED**

APPROVED – informs applicant(s) that the submitted plan meets all of the requirements of the Preliminary plan submission, and allows the applicant to proceed to the Final Working Drawings.

APPROVED WITH CONDITIONS – informs applicant(s) that the design is acceptable and the requirements are sufficiently satisfactory to allow the applicant to proceed to the final design, incorporating the conditions specified by the DRC in its written comments.

NOT APPROVED – informs applicant(s) that the conditions required for Preliminary design have not been met. The specific deficiencies will be specified by the DRC in the written findings. The applicant is not permitted to proceed to Final design and is required to submit new amended plans to the queue for Preliminary review. If a new concept design is to be presented, a Sketch submittal is required.

7.4.3 Final Working Drawing Review Findings

Final review results in one of the following determinations by the DRC. A color board is required as part of the final submission:

- A. **APPROVED**
- B. **APPROVED WITH CONDITIONS**
- C. **NOT APPROVED**

APPROVED – informs applicant(s) that the submitted plans meet all of the requirements of the final submission and results in the DRC stamping and initialing three copies of the plans to indicate approval for construction of the home. Two complete, approved copies of the plans will be available to the applicant for pick up at the RPF office allowing him/her to proceed to Douglas County for a building permit.

APPROVED WITH CONDITIONS – may result in one of two actions required by the applicant:

Incorporation of the items specified in the written findings and re-submission to the DRC queue for re-review.

Incorporation of the items specified in the written findings and re-submission of four copies only to the DRC for verification, subsequent stamping and sign-off.

NOT APPROVED – Applicant(s) are informed that the conditions required for Final submission have not been met. All deficiencies will be specified by the DRC in its written findings.

7.5 Notification of Design Approval to Property Owners

Each Design Review meeting agenda is posted at the mail pods prior to every scheduled meeting. It is the property owner's responsibility to be aware of possible revisions or adjustments to properties within the community which may affect their property. Upon acceptance of a submitted Sketch plan for review by the DRC, notification to adjacent property owners will be provided in the following manner:

1. A distinctive sign will be posted prominently on the building site for which Sketch plans have been accepted. The sign will remain on the site for a maximum of 30 days.
2. By appointment, plans can be reviewed at the RPF office Monday through Friday during regular office hours.

Comments by interested Roxborough Park property owners should be limited to the basic design and massing of the house, house siting (including height of the house), and comments regarding landscaping.

The DRC takes into account in its review the total impact of a new home on the existing environment, including the impact a new structure may have on privacy or views from existing homes. **However, there are no pre-approved view corridors designated in Roxborough Park, and neither preservation of existing views, nor maintenance of existing privacy can be guaranteed or required.** The DRC approves only designs that meet the criteria and requirements set forth in the DRD.

Subsequent changes to initial approval will not be communicated to neighboring property owners. Information regarding any changes of the proposed plan can be obtained at the DRC meetings. It is the adjacent property owners' responsibility to obtain this information and communicate his/her concerns, in writing, to the DRC Coordinator.

In response to comments, the DRC may:

1. Direct the lot owner to make a change to his/her plan which was the result of a written comment.
2. Recommend the lot owner consider incorporating a design change based on a written comment.
3. Make no change to the plans as a result of the written comment(s).

7.6 Plan Validation Periods

Upon approval of any plan submissions, the plans will be valid from the date of approval for the following periods:

Sketch Drawings	180 days
Preliminary Drawings	180 days
Final Working Drawings	365 days
Additions, Changes, and Remodels	365 days

The owner may make one written request for an extension prior to the expiration date of the approved plans, citing the reasons for the request and the desired period of the extension. The DRC will act upon the extension request and provide the owner with written notification of the DRC's ruling.

Plans whose validity period has expired, and the DRD in effect at the time of the resubmission, are automatically subject to DRC review fees in effect at the time

of the re-submission request. Approval of previously approved plans whose validity period has expired is not automatic. The DRC has the option of rejecting these previously approved plans.

Previously submitted and approved plans whose validity period has expired will be subject to a complete review as a Sketch submittal. A complete checklist, current at the time of the re-submission, is required to be submitted by the Architect/Designer.

Upon Conditional Approval of the re-submitted plans, notification of home design approval will be provided to all property owners, as is required for an initial home design approval and in compliance with the requirements set forth in Subsection 7.5. A minimum period of 30 days will be allowed for lot owners to make written comments regarding the conditionally approved design before final approval will be granted.

7.7 Schedule Requirements – New Construction, Changes, Additions, and Remodels

All exterior construction (including roof, siding, windows, doors, decks, porches, structure supports, etc) must be completed and painted or stained within one (1) year after the issuance of the date of final stamped plans. All construction materials and equipment, including sanitary facilities, must be removed from the building site within one (1) year from the date of the received security deposit.

7.8 Schedule Requirements – New Landscaping Changes, and Additions to Existing Landscaping

Any landscaping done pursuant to an approved landscaping plan for a new building must be completed within fourteen (14) months of the approval date of that plan, or within any reasonable extension of that period granted by the DRC. Any applicable fines may be deducted from the landscape deposit.

Buyers of spec homes for which the installation of the approved landscape plan has not been completed are required to complete the approved landscape plan within fourteen (14) months of the approval date of that plan, or within any reasonable extension of that period granted by the DRC. Any applicable fines may be deducted from the landscape deposit.

Buyers of spec homes wishing to make changes to an existing approved landscaping plan may do so providing the revised landscaping plan is submitted and approved within thirteen (13) months of the original landscaping plan approval date. Buyers of the spec home will then have seven (7) months to complete the landscape installation from the approval date of the revised landscape plan. Any applicable fines may be deducted from the landscape deposit.

Any changes to be made to existing landscaping must be submitted and have an approved plan. The work must be completed within seven (7) months of the landscaping plan approval date.

7.9 Douglas County Requirements

All site improvements and construction in Roxborough Park must meet, at a minimum, all Douglas County requirements as well as other requirements established by the DRC. These DRC standards may be more stringent than those required by Douglas County. Compliance with all setbacks, height restrictions, safety regulations, et al., imposed by Douglas County and the Roxborough Park DRC is the responsibility of the Owner. A building permit is required before any construction can be commenced in Roxborough Park. A stamped set of Final Working Drawings indicating DRC approval must be obtained before applying to Douglas County for a building permit. Approval by the Roxborough Park Metropolitan District is also required before applying to Douglas County for a building permit. Upon completion, a Certificate of Occupancy (CO) must be obtained from Douglas County and a copy provided to the DRC's Coordinator. Security deposits will **NOT** be released until a copy of the CO is received and all requirements of subsection 7.17 of the *Roxborough Park Building and Landscape Design Requirements Procedures and Regulations* have been met.

7.10 Utility Service Activities on Easements, Rights-of-Way, and Common Areas

Every person, partnership, company, or corporation who shall enter any road rights-of-way, easement, common areas or other property owned by the RPF for the purpose of placement of drainage culverts or structures, electric cable, water or sewer lines, gas pipelines, telephone cable, television cable or any related construction shall comply with the following rules:

1. Furnish, prior to the commencement of any activity, evidence of general liability insurance in the amount, as currently required by RPF. Such evidence shall name the RPF as an additional insured. In addition, such person, partnership, company or corporation shall furnish evidence of Workers Compensation insurance coverage sufficient to cover all employees engaged in the project.
2. Furnish a performance bond, or other form of security, in a form and in amounts satisfactory to the Board, protecting the Foundation from any failure of a contractor to comply with plans or specifications approved by the DRC, or failure to comply with

- generally accepted construction practices, or failure to complete any project in accordance with approved plans or schedules.
3. Notify the RPF of such entry or excavation at least 48 hours in advance of start of such work provided, however, that work to repair or restore service interruptions shall be exempt of such notice. In the event of emergency or repair work, notification shall be given to the Foundation offices by noon of the next regular work day.
 4. All locates of existing underground utilities, including service lines, shall be obtained by the person performing such excavation prior to the start of work.
 5. Any activity that results in damage to any facility, including culvert pipes, shall be promptly reported to the respective owners of such facility.
 6. Any excavation that results in the closure of a road or access way shall not commence until or unless all affected parties have been given 48 hours written notice of such closure. In addition to the 48-hour notification to the occupant, notice must be provided to the Roxborough Park Water and Sanitation District, the RPF and West Metro Fire Department.
 7. All contractors shall comply with the appropriate safety rules and regulations as necessary to protect their employees. Failure to do so shall be sufficient grounds to cause suspension of work activities.
 8. No modification of existing grades of any ditch or road surface shall be permitted without written authorization of both the General Manager and the Maintenance Supervisor of the RPF. Specifically, no ramps shall be constructed on any portion of the existing traveled road surface.
 9. Compaction of backfills, including utility trenches shall be accomplished to achieve 95% as measured by the Proctor method. The RPF will require compaction testing by a qualified soils engineer. Such testing shall be at the sole expense of the excavator.
 10. All blacktop roads shall be cut and material replaced with flow fill, or flash fill, then patched with five inches (5") of asphalt.
 11. During the winter a temporary 3 inch (3") cold patch asphalt may be used. The excavator shall maintain the temporary patch until replaced with hot mix asphalt patch. The RPF may require a cash deposit equal to 1.5 times the estimated cost of temporary patch removal and replacement.
 12. The excavator shall maintain necessary signs, barricades and other devices to ensure the safe flow of traffic. In the event excavations are left open overnight, flashing barricades shall be used.

13. When entering existing or remaining gravel roads, contact the RPF office for policies.
14. Copies of reports shall be furnished to the RPF office.
15. Pay a road cut fee if applicable.

7.11 Sketch Plan Submission

Submission of Sketch plans is required. The purpose of this submission is to:

1. Ascertain that the Owner and the Architect/Designer have a clear understanding of the types of designs that are appropriate to the site and surrounding area.
2. Determine that the structure is in harmony with neighboring structures and the natural environment in the immediate vicinity.

7.11.1 Sketch Prerequisites and General Requirements

1. A completed CHECK LIST must accompany the submittal.
2. All fees associated with the Sketch review are required at the time of Sketch submission prior to placement on the agenda for review. The Sketch review fee is non-refundable.
3. The Road Impact Fee and Security Deposit must be paid prior to receipt of the stamped approval Final Working Drawings.
4. Qualifications of Architect/Designer satisfied
5. *Request for Design Approval* form to DRC completed.
6. Site inspection completed if required.
7. A copy of the plat map is required if setbacks deviate from requirements in Subsection 3.4.
8. The number of copies required is noted on the *Sketch Review Checklist*.
9. Drawings must be clean, legible, proportioned and render a good conceptual image of the structure. Computer generated quality drawings are not required.

7.11.2 Sketch Drawing Information for Site Plan

1. The lot number of the proposed building site, and lot numbers of adjacent lots and names (s) of adjacent roads.
2. The drawing must be oriented with the direction North pointing to the top or to the right of the page. Provide a True North Arrow and a "Plan" North Arrow if the improvement is oriented

- such that the cardinal point identification of the elevation drawings is ambiguous.
3. Scale for the site plan shall be 1" = 10' or 1" = 20'. Plans requiring other scales to allow manageable paper sizes require prior approval of the DRC.
 4. That the proposed improvement fits within the confines of the site and the site's required setbacks.
 5. Approximate location of existing land features (rock outcroppings, large trees, scrub oak areas, etc.).
 6. Existing contours (dashed lines) and proposed re-contours (solid lines) of the entire lot including the driveway.
 7. All elevations are to use USGS datum. (Highest roof ridge, main floor, lower floor, decks, patios and garages.) Provide the elevations of the front center of the garage slab, the lowest level of the house, all main floors and the top of the ridge of the highest portion of the house.
 8. A Vicinity Map must be provided on the drawing showing the lots in the immediate vicinity of the proposed building site. The Map must include a scale drawing of the platted lots, identified by Lot Number, and existing roads with a North Arrow (dimensions and contours are not required) within an area that encompasses the ten (10) closest lots. The proposed building lot must be prominently indicated on the Map. The existence of structures on lots shows within the Vicinity Map area must be noted. An appropriate symbol (i.e. #, *, %), cross hatched, or solid shading may be used to denote lots with existing improvements.

7.11.3 Other Sketch Drawing Information

Each sheet shall identify the site by lot number and subdivision (i.e., Roxborough Park North, Roxborough Downs, and Stonehenge at Roxborough), and contain the name, address and telephone number of the Owner, and the Architect/Designer. If included in the submittal, floor plans must have a North Arrow indicated.

7.11.4 Sketch Building Plans and Building Elevation Drawings

A design study must be submitted that demonstrates basic massing of the building and prominent exterior elements such as siding, windows, roofs, doors, chimneys, decks, patios, and other site improvements. Sketches must reasonably show how the structure will fit to the topography of the site. This may be

accomplished with elevation drawings of all four views (N, E, S, W) or with perspective drawings. Scale for the building plans shall be 1/8" = 1', or 1/4" = 1'.

7.12 Preliminary Plan Submission

The Preliminary Plan submittal is intended to provide the DRC with a detailed representation of the site as it currently exists, and as it is to be configured; the house exterior as it will appear on the working drawings; and a landscape plan identifying the landscaping to be installed, as well as the natural features that are to remain. The drawings should be scaled to the same scale as the final working drawings. Site plans scaled at other than 1" = 10', and building plans scaled other than 1/4" = 1', must have prior written approval of the DRC Coordinator. Once approval of the Preliminary Plan has been obtained, including incorporation of all changes required by the DRC, only minimal changes should be required for the Final Working Drawing submission.

7.12.1 Preliminary Prerequisites and General Requirements

1. Preliminary Design Review fee paid.
2. Site Meeting completed if required.
3. Incorporation of all changes to the Sketch plan submission required by the DRC.
4. A completed CHECK LIST must accompany the submittal.
5. The number of copies of each plan is noted on the Preliminary Design Review Checklist.
6. All Preliminary plans shall be on 24"x36" size sheets of paper.

7.12.2 Preliminary Drawing Information

Individual drawings of the below listed plans are required. The drawings must be side-bound and should be packaged in the order shown. Cover Sheet (Optional) showing the lot number and Roxborough Park Subdivision, Owner and Architect/Designer names and addresses, and a list of all the drawings contained in the submittal with their page numbers.

1. Engineering Survey
2. Site Plan
3. Landscape Plan
4. Building Elevation Drawings
5. Floor Plans
6. Roof Plan (as required)
7. Section Drawings, Foundation Plans, etc.

7.12.3 Additional Preliminary Plan Information Required

Under certain circumstances, such as where the design concept cannot be clearly demonstrated by drawings, the Owner may be required to provide perspective drawings or scale model of the proposed dwelling and its relationship to the immediate area. All models will be retained by the DRC until final approval, and then returned to the Owner. Care should be taken to accurately represent the scale of the building massing. It should be constructed at a scale acceptable to the DRC. Proposed window placement and exterior materials must be indicated.

7.12.4 Site Staking Requirements for Preliminary Plan

An elevation reference benchmark is required, as defined in the Engineering Survey, Subsection 7.12.5.

The Owner is required to provide staking of all lot corners and major building corners. All stakes must be a minimum height of three feet (3') and building and lot corners must be identified on the stakes. Under certain conditions, at the option of the DRC, additional staking may be required.

1. The elevation reference benchmark shall be clearly marked on the Site Plan and referenced to USGS data. The purpose of the elevation reference benchmark is to allow measurements and verification of construction elevations. A stake showing the finished grade elevation at the garage floor entrance is also required. The garage elevation stake shall be legibly marked with the USGS elevation of the existing grade where the stake is located; or a heavy horizontal line indicating the USGS elevation of the line, and the amount of feet of fill (+) or cut (-) required to site the top of the garage slab.
2. On lots where scrub oak is extremely dense or access prohibitive, the buildings staking requirements may be modified by the DRC.

7.12.5 Engineering Survey for Preliminary Plan

A current survey must be completed and certified accurate by a Registered Land Surveyor locating all contours, applicable underground water, sewer and gas main lines, sewer manhole covers and invert elevations, electrical, phone and TV pedestals, and all natural features and trees. This survey must be made by a

surveyor registered and licensed in the State of Colorado. The scale must be 1" = 10'. Any scale other than 1" = 10' must have prior written approval of the DRC Coordinator.

The survey drawing must be oriented with the direction north pointing to the top or right of the page. It must show the edge of the existing road surface as well as the road rights-of-way line. The survey must also show:

3. The location and the USGS elevation (four digit number i.e., 6210, etc.) of an "Elevation Reference." This elevation reference may be an existing prominent permanent pedestal or a benchmark.
4. Lot corner stakes.
5. Contours at a maximum of two foot (2') intervals to a minimum of fifteen feet (15') beyond the property lines, and must show the relationship of those contours to the USGS datum.
6. Elevations of adjacent roads and the edges of any adjoining drives to the access road, if these drives are located within the fifteen-foot (15') survey boundary.
7. Locations and elevations, where significant, of key features of the natural terrain such as trees, scrub oak areas, rock outcroppings as well as existing utility pedestals on the site and within fifteen feet (15') of the site's property lines.

Any owner submitting plans for preliminary or final approval to the DRC shall be responsible for the correct identification and use of official certified benchmarks, verification and accuracy of all lot dimension, grades, and elevations of adjacent roads or drives where lot access is proposed. The owner bears the ultimate responsibility through his/her contract with the licensed surveyor for the correct location of the improvements constructed on the site.

7.12.6 Preliminary Drawing Information for Site Plan

Any scales other than 1" = 10' must have prior written approval of the DRC Coordinator. A site plan drawn by an overlay on the Engineering Topographic Survey included with the plans is required. It must show all of the information contained on the Engineering Survey including:

1. Elevation Benchmark location, existing contours shown through all improvements, the edge of existing roadways, and all natural features (i.e. scrub oak, trees, etc.).

2. USGS elevation immediately in front of garage slab, and highest point of the house elevations of contiguous existing homes along with their setbacks.
3. Building footprint on the site with setbacks noted. Include all decks, porches enclosures, etc. Highlight or clearly note any protrusions into setback areas.
4. A North Arrow oriented with the direction north pointed to the top or right of the page, placed prominently on the page. (Do not embed north arrows in company logos, etc.) Provide a Compass North Arrow and a Plan North Arrow if the improvement is oriented such that the identification of the elevation drawings is ambiguous.
5. Driveways, guest parking and turnaround areas, indicating the percent (%) slope.
6. Retaining walls with USGS elevations at the top and the bottom of the wall at appropriate intervals. Materials used for retaining walls must be shown.
7. All easements and setbacks per Roxborough Park and Douglas County zoning requirements.
8. Topography data related to USGS datum including existing (dashed lines) and proposed (solid lines) re-contours at a maximum of two foot (2') contour intervals.
9. USGS elevations of major elements of the site and proposed structure; i.e., highest point of roof ridge, all floors, including the garage, basement(s), first floor, second floor, etc., enclosures, porches and patios, driveway, parking and turnaround areas.
10. Utility access locations and proposed service lines to the house.
11. Sewer invert elevation in USGS datum.
12. Location of the freestanding lighted house number signage bollard. If the lighted house number is to be located on the house, indicate such by a note on the drawing. If a freestanding house number signage bollard is to be used, provide a scale drawing of the signage (minimum of 1/2"=1'). The drawing must show the dimension of the sign including the light installation, materials and colors proposed. Front and side elevations are required.
13. Snow storage area, if required.
14. Driveway grades at appropriate locations along the drive.
15. The proposed driveway culvert (if required) including details as specified in the site requirements. A note on the site plan should read: "The actual culvert location and size will be determined by the RPF's Maintenance Supervisor prior to its installation."
16. Drainage arrows indicating the resulting proposed surface flows away from and around the house, and to neighboring properties, are required.

17. A Vicinity Map must be provided on the drawing showing the lots in the immediate vicinity of the proposed building lot. The Map must include a scale drawing of the platted lots, identified by number, and existing roads with a North Arrow (dimensions and contours are not required) within an area encompassing the ten (10) closest lots. The proposed building lot must be prominently indicated on the Map. The existence of improvements on the lots shown within the Vicinity Map area must be noted. An appropriate symbol, (i.e., #, *, %), or crosshatched or solid shading may be used to denote the lots with existing improvements.
18. An indication of the "Limit of Disturbance Line" which separates and identifies the area of the site that will be disturbed due to construction activities associated with the house and other improvements (i.e., retaining walls, drainage re-contouring, utility line runs, etc.), and that area of the site, which will not be disturbed.
19. Show the location on the site of, and the area encompassed by, accessory equipment such as swing sets, trampolines, antennas, etc. Details of the equipment (i.e., its profile elevation views) and overall dimensions, colors, etc., must be included in this submission. This equipment is required to be as unobtrusive as possible and properly screened from neighboring properties, common areas and roadways with appropriate, approved enclosures, evergreen trees and/or shrubs.

7.12.7 Preliminary Building Plans and Elevation Drawings

Plan submissions or re-submissions must include:

1. All four exterior elevations (N, E, S and W) at a scale of 1/4" = 1' with roof pitch and existing (dashed) and proposed (solid) grade lines.
2. USGS elevations at the intersection of the finished grade and the primary (i.e., outside) corners of the building.
3. Expanded scale drawings of critical areas (i.e., window treatments, deck railings, exterior lights, etc.) The details must be drawn to a scale of 1/2"=1" minimum. Specific templates and general notes may be available on the Roxborough Park website (www.roxborough-park.com).
4. When significant areas of the house will be obscured by the immediate existing surrounding terrain, the drawings should reflect this; the views should incorporate existing features of the terrain (i.e., trees, rock outcroppings, scrub oak, etc.), which are to remain after completion of the house. Elements of the house

which are obscured by the immediate surrounding terrain should be shown by broken lines.

5. Elevations of each level of the building, including the top of the roof(s), referenced to USGS datum.
6. Floor Plans, (and roof plans when submitted or required) should be oriented the same direction as the site plan and be to the same scale as the exterior elevation drawings. Provide a north arrow on the drawings.
7. A material and color matrix is required, preferably shown on one of the elevation drawings (see sample form).

SAMPLE MATERIAL/FINISH AND COLOR MATRIX

ITEM	MATERIAL	FINISH TYPE	GENERIC NAME	MANUFACTURE NAME & NUMBER
Roof	Concrete Tile	N/A	Brown	Westile/M
Siding	Stucco/stone	Knock Down	Tan	SW/10234
Window Frames	Aluminum or Wood	Clad Pt/Stain	Brown	Pella-20
Trim	Wood	Rough Sawn	Brown	Pella-20
Deck Enclosure	Stucco Wood/Iron	Stain	Tan	SW/10234
Soffits	Hard Board	Paint	Beige	KWAL/3456
Gutters	Galv. Steel	Paint	Brown	KWAL/3456
Downspouts	*See note	Flat Paint	Tan	SW/10234
Garage Door	Steel Frame	Flat Paint	Tan	KWAL/5678
Doors	Wood	Flat Paint	Tan	KWAL/5678

*Note: Downspouts are to be painted with a flat finish paint which matches the color of the surface upon which they are mounted. The color of all exterior attached protrusions (i.e. roof vents, gas meters, phone boxes, etc.) must be painted with a flat finish paint to match the surface on which they are attached.

8. Locations of all exterior light fixtures must be shown on the appropriate elevation drawing(s). If lights are to be located in the soffit or otherwise obscured from view from outside the house, provide notes on the drawings to indicate this type of lighting and dash-in or otherwise indicate their locations. Lights are required for all exterior entries.
9. Any ancillary equipment or improvements attached to the house must be shown. Show visible supporting structure for all decks

and porches with appropriate dimensions. Visually exposed deck supports must be dimensioned, substantial and compatible with the architecture of the house.

10. Provide a minimum 1/2" = 1' detailed, elevation drawing of a representative section of the deck railing structure, including a cross section view.
11. If a freestanding approach sign is not required, the house number location must be shown on the appropriate elevation drawing. Provide a detail area drawing of the installation including number size, material, color and down-light illumination design.
12. For siding materials that do not extend to grade (i.e., natural wood, stucco, etc.) provide a note on the appropriate elevation drawing describing the method of attaching the siding to stepped foundations. All foundation materials must follow the finish grade slope. No more than six inches (6") of foundation shall be exposed below the finish product. The following note must appear on the building elevation drawings: "Exterior stone/masonry finishes are to be grounded. Other wall finishes may terminate 6" maximum above grade. All exposed foundation walls must be painted or parged to match the adjacent finish."

7.12.8 Preliminary Landscape Plan

The plan must be in compliance with the details specified in Section 5.0 of the preliminary landscape plan requirements. Include on the drawing a completed matrix as illustrated below, showing a minimum of the following column and row heading items.

SAMPLE LANDSCAPE PLANTING MATRIX

ITEM*	COMMON NAME	BOTANICAL NAME	PLANT SIZE CAL./HGT/CONT.	QUANTITY
Trees	Ponderosa Pine	pinus ponderosa	6' ht.	3
Shrubs	3 Leaf Sumac	Rhus Trilobata	5 gal.	15
Perennial	Daylily	Hemerocallis Sp.	1 gal.	12
Ground Cover	Sedum	Sedum Sp.	1 gal.	20 (12o.c.)
Other As Required				

A preliminary landscape plan drawing, separate from and to the same scale as the site plan, is required showing all proposed landscaping to the edge of the road. The plan must include the following items:

1. The location of all landscape items.
2. Grade contours at 2' intervals maximum.
3. Methods(s) of irrigation if applicable.
4. Edging and type (i.e., steel, etc.).
5. Size and color of rock, stone or wood mulch to be installed.
6. Type of grass to be used and method of installation (i.e., seed or sod).
7. Identification of areas to remain in their present state.
8. Method of erosion control if required – temporary and permanent.
9. A sketch or detail of any special landscaping features i.e. water features, lighting etc.
10. A note on the plan stating the following: “All disturbed areas not included in newly landscaped areas must be re-vegetated with low grow grass seed mix.”

7.13 Final Working Drawing Submission

The Final Working Drawing or final submission is intended to provide a complete set of drawings suitable for construction of the house and other site improvements, along with additional information as detailed below.

These drawings, in addition to being used by the builder to actually construct the house (including the landscape site improvements), are used by the County as well as by Roxborough Park as the basis for field inspections to verify that all improvements have in fact been made as specified on the final approved working drawings. Items installed that are not in compliance with the approved drawings are subject to rejection and subsequent correction at the owner's expense. **The drawings as submitted to the DRC and the County must be identical and made from the same master.**

A completed CHECK LIST must accompany the submittal.

7.13.1 Final Working Drawing Prerequisites and General Requirements

1. The number of copies of each plan is noted on the Final Working Drawing Review Checklist.

2. Incorporation of all changes requested by the DRC as part of Preliminary Plan approval. Any changes made, not specifically requested by the DRC, must be brought to the attention of the DRC. Unauthorized changes will result in rejection and require re-submittal of Preliminary Plans with all attendant fees.
3. Architect's seal, as applicable, on all drawings.
4. Owner's signature indicating approval and acceptance of the Final Working Drawings on each of the following drawings: site plan, all elevation drawings, landscape plan, exterior light fixture cut sheets, any other drawing of exterior improvements. By his/her signature, the owner(s) also accept the responsibility for insuring completion of all of the improvements indicated on the above drawings and for compliance with the rules and regulations set forth in the Covenants and this document.

Plan submissions or resubmissions must include the following:

Cover sheet (optional) showing the lot number and Roxborough Park Subdivision, Owner and Architect/Designer names and addresses, and a list of all the drawings contained in the submittal with pages numbered. The following drawings must include any DRC noted revisions from the Preliminary plan submittal.

1. Cover Sheet
2. Engineering Survey
3. A copy of plat map is required if setbacks deviate from requirements in Subsection 3.4.
4. Site Plan
5. Landscape Plan
6. Building Elevation Drawings
7. Floor Plans
8. Roof Plan
9. Section Drawings, Foundation Plans, etc.

Construction drawings must meet Douglas County requirements for building permits. The plans submitted to the Roxborough Park DRC shall be identical to those submitted to Douglas County.

7.13.2 Color Board

A **lightweight** board (i.e. 1/8" to 1/4" plywood, masonite, or coreform) measuring 18" x 24", with a handle, all exterior finished

including, but not limited to, paint colors, stain colors, and material types must be represented on the color board. Materials must be firmly attached to withstand storage and handling throughout the construction period. Color board submissions will be rejected if they are undersized, oversized, or the attachment mechanism appears to be unsatisfactory. These items include samples of the roof and siding, color samples of window trim, fascia boards, downspouts and gutters, etc.

A legible "SAMPLE MATERIAL/FINISH AND COLOR MATRIX" identical to the matrix submitted with the Preliminary submission, but indicating the precise finish (i.e. not generics) must be attached to the back of the color board.
(See Subsection 7.12.7 item # 7 for "Sample Material/Finish and Color Matrix.")

In order to better evaluate proposed colors, the following approximate sized samples are required:

1. Roof tiles/ Ballast	36 sq. in.	3"x12"
2. Stucco siding	64 sq. in.	8"x8"
3. Wood siding	36 sq. in.	6"x6"
4. Trim (fascias, window, etc.	8 sq. in.	2"x4"
5. Window frames clad/wood	4 sq. in.	2"x2"
6. Gutter/downspouts/railings	12 sq. in.	3"x4"
7. Soffit	8 sq. in.	2"x4"
8. Stone sample size appropriate to show color palette		

Note: The DRC, in certain cases for evaluation, may require a larger sample size.

The finished construction material(s) must be identical to the sample material(s), and must be treated in the same manner as that proposed for the building, that is, the number of coats applied to the sample and the means of application (spray, brush, etc.) must be the same as that proposed for the house. Stucco finishes must be identical (i.e., same application technique and finish) as that proposed for the building on the Color Board.

In instances where the Color Board samples are in conflict with the generic names listed on the "Sample Material/Finish & Color Matrix" on the Final Working Drawings, or are ambiguous, the Color Board and actual material samples shall take precedence.

7.13.3 Lighting Fixture Cut Sheets

Provide cut sheets for all exterior lighting fixtures except recessed lights.

7.14 Security Deposits, Fees and Insurance Requirements

7.14.1 Construction and Landscape Security Deposits and Insurance Requirements

The following instruments shall be required of contractors:

1. A certified check in the amount stated in the current RPF Design Review Fee schedule for building and landscaping completion assurance, is to be paid to the RPF office prior to receiving stamped approved final plans. Money will be kept in a separate account and refunded for timely successful completion of both building and landscaping.
2. Evidence of general liability insurance, satisfactory to the RPF, in the amount stated in the RPF Design Fee Schedule. Such evidence shall name the RPF as an additional insured, and shall show coverage for the duration of the project. In addition, such entity shall furnish evidence of Workers Compensation Insurance coverage sufficient to cover all employees engaged in the project for the duration of the project.

Based upon the Final Working Drawings approved project plans, the DRC shall recommend to the Foundation Board the amount of any required security deposits. Approval may be for a specific time and include specific performance requirements of the developer. Security deposits will be determined based upon the scope of the multi-family unit project. Refer to Subsection 7.9, "Douglas County Requirements" for security deposit release conditions.

The Owner must assure that the exterior of the dwelling, excluding landscaping, will be completed as specified in subsection 7.7. To assure such completion of construction and landscaping on the building, the Owner shall provide a suitable security deposit. In addition, the Owner, to assure completion of the approved landscape plan, shall provide the required security deposit by RPF in accordance with the amount specified in the RPF Design Review Fee Schedule. (Such completion of the landscape elements shall be completed as specified in subsection 7.8. For the convenience of the Owner, a single deposit of the amounts specified in the Fee Schedule for construction and landscape fees will be accepted.)

7.14.2 Security Deposits, Fees and Insurance Requirements (Developers):

In the event a parcel is developed under a Douglas County Subdivision Improvements Agreement Douglas County is responsible for insuring that the developer provides, to Douglas County, an Irrevocable Letter of Credit in an amount equal to 115% of the estimated cost of the required infrastructure improvements.

7.14.3 Road Impact Fee

A Road Impact Fee to help offset the added maintenance cost of the RPF roadways resulting from the heavier vehicles and additional traffic necessitated by construction is included in the fee amount total due and payable upon the release of the stamped Final Working Drawings. The amount of the fee shall be set by the Board of Directors of the RPF and specified in the fee schedule.

The Impact Fee does not relieve the Owner of the responsibility of fully restoring any roadways and drainage ditches adjacent to the site that sustain damage as a result of the construction activities. This includes, but is not limited to, road deterioration caused by the installation or extension of utilities, the deposit of mud or dirt tracked from the site onto roadways and/or damage caused by the presence of heavy equipment on the road surface.

7.14.4 Road Cut Fee

If applicable the road cut fee is required to be paid upon receipt of stamped Final Working Drawings. The fee amount is listed in the Fee Schedule. When road cuts are required, written permission from the Maintenance Supervisor is required prior to making any road cut. (See Subsection 7.10)

7.15 Mandatory Builder's Conference

Prior to the start of construction, the Owner or his/her representative shall meet with the DRC Coordinator and the Maintenance Supervisor to discuss the logistics of construction. Items to be discussed include, but are not limited to:

1. Physical identification of lot lines and "Limit of Disturbance".
2. Location of parking for workers during construction.
3. Access and egress to the site during construction.
4. Field location of culverts and other drainage improvements.
5. Covering of dumpsters and disposing of trash.

6. Disposal of excess excavated material.
7. On-site building material storage.
8. Location of on-site sanitary facilities.
9. Storage and disposal of scrap building material.
10. Hours and days of construction activity.
11. General discussion of working conditions at Roxborough Park.
12. Such other matters as may be appropriately related to construction activity.
13. Any moving vehicles with loose materials, (i.e. dirt, sand, gravel, etc.) are required to be covered.
14. Debris must be picked up from the work site each day or contractors will be fined in accordance with the Class 1 violation listed under the RPF Rules and Regulations.

7.16 Changes during Construction

Any change in color(s), texture(s), material(s), finish(es), location of windows, doors, dormers, vents, etc that affect the exterior appearance of the structure must be submitted to and approved by the DRC before such changes are effected. Changes will be reviewed at the time of a regularly scheduled DRC meeting. Any changes in elements of the Color Board must be re-submitted as a new Color Board. A change affecting the exterior appearance shall be submitted as a revision of the original drawing. The DRC must approve all such changes before they can be effected. The approved change(s) shall be inserted in the file drawings of the DRC. Changes submitted by letter not accompanied by a revised drawing or new Color Board will not be approved.

7.17 Inspections

7.17.1 Final Building and Landscape Inspections

At the conclusion of construction, the Owner shall request a final inspection of the premises from the DRC Coordinator. This inspection must be completed prior to release of any portion of the Security Deposit(s). A copy of the Douglas County Certificate of Occupancy must be supplied to the RPF Office.

The inspection is for the purpose of determining compliance with the approved plans on file with RPF, including finished grading, exterior appearance, color, finish, landscaping, etc.

The DRC Coordinator will issue a final checklist indicating the home and/or landscaping has been satisfactorily completed in accordance with the approved plans. Satisfactory completion of

the items on the checklist will result in the release of the home and/or landscape security deposit.

1. The final building inspection and final landscape inspection may occur at different times.
2. Re-inspection fees may apply.

7.17.2 Periodic Inspections

The DRC, through its representative, may inspect the work on any property. Any noncompliance may be cause for a Stop Work Order notification to the Owner which can be enforced by injunctive action by the Douglas County District Court at the expense of the Owner. Absence of a Stop Work Order notification, however, does not relieve the Owner and Builder of responsibility to comply with the requirements of the approved plans and the governing rules and regulations.

8.0 ADDITIONS OR ALTERATIONS TO EXISTING STRUCTURES AND LANDSCAPING

8.1 Approval Requirements

Any additions or alterations affecting the finished grade of the site, exterior appearance (including color) of any structure or major landscaping change requires written approval of the DRC.

The following paragraphs apply to new homes designed and built for lot owners as well as homes previously designed and built by prior owners and purchased or re-purchased in a completed state. In addition to these guidelines, reference Section 3.0, Section 4.0, and Section 5.0 of this document will apply.

8.2 Property Owner Responsibilities

The property owner must submit a request, either via letter or drawing, to the DRC for the addition or alteration desired. Color and material samples are required. The submission must be in sufficient detail to allow the DRC to evaluate the change request. A review fee may be charged, depending upon the scope of the addition or alteration. A Fee Schedule for the specific dollar amount(s) is available upon request.

8.3 Building Exterior

Any change of exterior material or change resulting in a change of appearance of the building(s), including siding, doors, windows, attached yard enclosures, skylights, decks, deck railings, roofs, etc, must have prior approval of the DRC. See Section 4.0 for specific requirements governing the design of these items. All exterior construction (including roof, siding, windows, doors, decks, porches, structure supports, etc) must be completed and painted or stained within one (1) year of the beginning of construction.

8.3.1 Re-Roofing of Existing Buildings

As stated in the introduction to this document, Roxborough Park is a community with dwellings of many varieties designed to complement, physically and aesthetically, their neighboring dwellings and natural surroundings. The style, quality and aesthetic attributes of the roofing are of particular importance to our community because of the dramatic visual impact of roofs, in general.

Therefore, the DRC requires existing roofs constructed of concrete or slate tiles be replaced only with concrete or slate tiles. Existing roofs constructed of any materials other than concrete or slate tiles may be replaced with a high relief steel roofing or other material that meets the general aesthetic and quality criteria described in the DRD Subsection 4.8 and is capable of meeting a class "A" roof assembly and all additional Douglas County requirements for fire rating.

It is the sole responsibility of the applying resident to determine and ensure the structural integrity of the dwelling using proposed material different than the original roofing material.

8.4 Re-painting

Any change in paint or stain color must be approved by the DRC. Color chip samples (eight square inches minimum) of the colors to be applied must be submitted to the DRC for approval. Re-staining or re-painting with the existing colors, as previously approved by the DRC, does not require additional DRC approval.

8.5 Landscaping/Planting

Property owners are encouraged to plant additional indigenous trees and shrubs. There is no minimum planting size requirement. Approval for planting additional trees and shrubs is not required by the DRC, providing they meet all of the requirements of Subsection 5.1.

1. Trees and shrubs are not to be planted where they impair the egress view from the driveway or views around street corners.
2. The addition of any new planting beds in excess of 10s.f. Rock work of any kind, patios, water features, or any type of landscape embellishment will require prior approval by the DRC. A drawing that includes all of the information contained in Subsection 5.2 will be required for review.
3. All landscaping, per the approved landscaping plan, must be installed within 7 months of the landscape plan approval date.

Information is available from the RPF Office regarding species of trees and shrubs most suitable in the Roxborough Park environment.

8.6 Unauthorized Changes to Natural Vegetation or Landscape Plantings

Any unauthorized changes to natural vegetation, landscape plantings or rock outcroppings will be remediated in accordance with Subsection 5.5.

8.7 Removal of Vegetation for Fire Mitigation

Owner may remove natural vegetation within fifteen feet (15') of a house and may cut or trim dead or diseased trees or shrubs without approval from the DRC. Other natural vegetation or landscape plantings may be removed for the purpose of fire mitigation only with the approval of the DRC. The owner must submit to the DRC, a defensible space plan created specifically for the property by the Colorado State Forest Service, an individual or company certified by a local governmental entity to create such a plan, the fire chief, fire marshal or fire protection district within whose jurisdiction the unit is located, or other similarly qualified individual or entity. The plan must have an original signature date and title of the fire mitigation expert.

Following approval of the DRC, owners must strictly comply with the plan. Any failure to obtain required approval, or any failure to strictly comply with an approved plan, is a Class 4 offense, subject to the fines listed in the DRD.

8.8 Yard Enclosures

Yard enclosures of any area not contiguous to the house for any reason, are not allowed. Enclosures of small areas (i.e. Courtyards) contiguous to the house for privacy are allowed (See Subsection 4.13 for design requirements). The enclosure design must be submitted to the DRC for approval.

8.9 Exterior Lighting

Any additions, replacements or alterations to exterior lighting must have prior DRC approval. See Subsection 4.16 for exterior lighting requirements

8.10 Accessory Equipment/Site Structures/Recreation/Play Equipment

See Subsection 4.15 for Accessory Equipment/Site Structure requirements
See Subsection 3.11 Backboards and Recreational Equipment requirements

8.11 Changes in New Owner Unfinished Homes (Spec. Homes)

Changes in exterior design or landscaping to property that has been purchased by new owners after approval of Final Working Drawing Plans, but were not completed at the time of purchase, may be made only in conformance with the following conditions:

1. Any change that would result in a change of exterior physical appearance of the property must have prior DRC written approval. This includes, but are not limited to, changes in site design (re-contouring, retaining walls, driveways, enclosures, etc.), house structure, exterior materials and exterior colors.
2. Changes in landscaping material or location of plantings from the Approved Landscape Plan require prior DRC written approval. Minimal additions may be made to the Approved Landscape Plan without DRC approval, provided they meet the requirements specified in Subsection 8.5, Landscaping/Planting, Subsection 5.1 Landscaping Design Requirements, Subsection 5.2 Landscape Plan, and Subsection 5.5 Remedial Plantings.

8.12 Requirements for Removal and Rebuilding of Existing Buildings (Scrape-Offs)

Any owner who intends to substantially demolish an existing home and replace it with another must comply with all DRD requirements for new homes.

9.0 PROJECT AREAS: SINGLE-FAMILY AND MULTI-FAMILY HOMES

9.1 Background

In the mid-1980s, owners of some tracts determined that the assigned high density was unlikely to develop, due to market conditions. Upon petition to Douglas County, some of the areas were rezoned in 1989 to accommodate detached single-family units. This rezoning was accomplished by the Third Amendment to the Roxborough Park Development Plan and approved by the Douglas County Commissioners on August 24, 1989.

The predominant type of unit constructed in the Roxborough community is Single-Family residential. There are several areas designated for Multi-Family. It is anticipated that these areas will develop at such time as a market exists for the product. Since the size and complexity of a Multi-Family development far exceeds the impact of Single-Family residences, the DRC has determined that special requirements are necessary to assure that the impact of the development can be properly evaluated.

The purpose of this amendment was to provide guidelines for development of sites on these parcels and to spell out maximum densities, minimum setbacks, maximum height restrictions, general road requirements and uses by right.

The basic Site, Building and Landscape Requirements for single-family homes on Project Areas are the same as those imposed on all other Single-Family homes in Sections 3.0, 4.0 and 5.0 except as specifically modified in this section.

The following paragraphs in this section identify the Site, Basic Building and Landscape Design Requirements and Procedures delineated previously in Sections 3.0, 4.0, 5.0 and 7.0 , which are waived or modified, and delineate the specific requirements which apply to Project Areas design and construction.

In addition, any new street, turnaround, cul-de-sac or roadway development must meet the following requirements. The RPF reserves the right to require written documentation of same upon request:

1. All roadways will be constructed in accordance with Douglas County Requirements,
2. All water valves, manholes, markers and water blowouts must be brought to final finished grade.
3. Any signage must comply with West Metro Fire District and will be done at the developer's cost.

4. The RPF may require the developer provide a traffic engineering study to ascertain if road widening is necessary and, if found necessary that widening shall be at the developers cost.
5. Drainage studies are required which provide recommendations for storm water management facilities and drainage recommendations subject to Douglas County specifications.
6. All items must comply with all governing entities including, but not limited to, Roxborough Water and Sanitation District, West Metro Fire District, and Douglas County.
7. Mailboxes must comply with US Postal Standard and be of Security or Auth-Florence or higher grade standard. Mailbox kiosk design must be submitted to and approved by the DRC.

9.2 Fee Schedule

A current Roxborough Park Design Fee Schedule is available at the RPF office.

9.3 Conceptual Development Plan

A Conceptual Development Plan shall be provided before or at the time of the Sketch Plan submittal. The Conceptual Development Plan must include, as a minimum, the following:

9.3.1 Plan Requirements

1. Over lot grading and erosion control measures (DESC plan).
2. The planned phases of the Project (i.e., the number of homes to be constructed in the initial and subsequent phases). DRC will determine the number of buildings under construction at any one time by any single builder.
3. The planned time span of each phase. Proposed general orientation of the houses on the platted lots, the approximate range of living areas, and the size of garages (i.e. the number of cars to be accommodated).
4. The general configuration of the houses (i.e. number of stories, geometric shapes and arrangements of major elements, configuration and shape of roofs, entryways, garages, etc.). Elevation sketches or perspective sketches of the significantly different models proposed.
5. The types of exterior materials to be used (i.e. roof, siding, windows, exterior lights, garage doors, etc).
6. A general description of the landscaping proposed. Planned areas or percentage of land to be irrigated lawn, left in a natural state, planted with trees and shrubs and areas to be xeriscaped.

7. Proposed permanent entry signage, if any, should be described, including its proposed location, approximate size and materials.
8. Proposed temporary construction and sales signage planned; size, location, coloring, lettering, and/or sketches of the actual signage.
9. Proposed temporary sales and /or construction facilities to be installed on the property. Elevation drawings including materials, colors, location and anticipated duration of these structures.

9.3.2 Plan Approvals

At the discretion of the DRC, the Conceptual Development Plan may be presented to the RPF Board of Directors for its review and approval.

At the discretion of the RPF Board of Directors, as approved by a majority vote of the full Board, the applicant may be required to prepare additional materials, such as a scale model of the development, including its immediate surrounding area, for review by the Board of Directors. The Board of Directors may also require presentation of the Conceptual Development Plan and additional materials to Roxborough Park property owners at a public meeting.

Upon receipt of all of the required materials and completion of the public meeting if so directed, the DRC may accept the submission, not accept the submission or conditionally accept the submission and subsequently provide written notification of its actions to the applicant.

9.4 Project Area Platting Requirements

Since platting is reciprocally agreed upon by Roxborough Park and Douglas County, all submissions and modifications made to plats by either RPF or Douglas County will be immediately submitted to the other interested entity by the Owner.

No grading or earthwork will be permitted until the Final Site Plan and Final Grading Plan is approved by the DRC and the county has issued the proper permits to allow grading to begin.

9.4.1 Sketch Platting Plan

All platting that occurs on Project Areas shall be subject to Sketch Plat approval by the DRC, and Douglas County.

Prior to submission of the Sketch Plat, the applicant, including the owner or authorized project manager, architect and engineer shall meet with the DRC and the RPF Board Liaison at the project site. The purpose of this meeting is to discuss the conceptual platting plans to be proposed and any building elevations which may be required.

The applicant shall present a Sketch Plan reflecting the items discussed and agreed to at the site meeting, and shall include all of the information required by Douglas County Subdivision Regulations. A line-of-site study or studies, with scaled drawings, shall be provided showing all of the proposed platted lots with sketches of the improvements planned, and the view relationship to lots in the immediate area. The number of copies required is noted on the Project Area checklist that is available from the DRC Coordinator.

Upon receipt of a completed submission, the DRC shall review and either accept, not accept or conditionally accept the project, and subsequently provide written notification of their actions to the applicant.

9.4.2 Preliminary Platting Plan

The submittal shall provide all modifications made to the Sketch plan submission as required by the DRC.

The applicant shall provide four (4) complete copies of the Preliminary Plat containing all of the information required by Douglas County Subdivision Regulations.

A Preliminary grading plan indicating the relation of existing contours with proposed contours is required. Location of all utilities shall be shown, as well as any building elevations which may be required.

The applicant shall either indicate on the Preliminary Grading Plan, or provide a separate drawing of the Preliminary Site Plan showing all existing features, proposed re-contours and limits of disturbance for the entire Project Area. Such plans or drawings must indicate existing site features such as trees, scrub oak, rock outcroppings, etc., that are to remain, and those that the applicant proposes to remove.

The applicant shall also submit a "Site-Improvement Drawing" showing the total Project Area with all proposed structural

improvements, drawn to scale, located on their respective sites. This drawing, or set of drawings, is intended to display the total concept of the Project Area and its impact on the surrounding environment. This drawing can be a perspective “streetscape” or similar illustration drawn to an appropriate scale shown from a point which represents the view of the most significantly affected lots and/or roadways.

A Preliminary Landscape Plan of all common areas and the Project’s approach area, including any desired signage, shall be provided to the DRC for approval.

Upon receipt of the completed submission, the DRC shall review and approve, disapprove or conditionally approve the project, and subsequently provide written notification of their actions to the applicant.

9.4.3 Final Platting Plan

The submission shall contain all modifications made to the Preliminary Platting Plan required by the DRC.

The limit of disturbance must be marked on the actual site with appropriate, visible, nondestructive devices prior to the start of any earthwork.

Four (4) copies of a complete submission containing all final materials required by Douglas County shall be provided to the DRC.

A Subdivision Improvements Agreement, approved by the RPF and Douglas County, shall accompany the submission. This agreement shall contain such conditions and security as may be determined appropriate to assure completion, or cover warranty of improvements, to be maintained by the Foundation.

A detailed plan showing all erosion and re-vegetation measures required to assure that no noxious weeds or erosion shall be permitted to occur on any part of the premises shall also be submitted.

A detailed landscaping plan which meets the stated requirements contained in Section 5.0 Landscape Design Requirements must be included. A Detail Landscaping Plan shall be submitted for any landscaping proposed for common areas or other areas the developer proposes to install as temporary or permanent landscaping (i.e. entryway, drainage areas, etc.).

Upon receipt of a completed submission, the DRC shall promptly review the materials and take such action as may be appropriate. Said action may be approval, disapproval or conditional approval. The DRC shall subsequently provide written notification of its actions to the applicant and forward a record of its action to the Board of Directors of the RPF.

9.5 Design Requirements for Individual Sites

All requirements, procedures and provisions contained in Sections 3.0, 4.0 & 5.0 shall apply to Project Areas except as specifically waived or modified as delineated below.

9.5.1 Site Design Requirements

A "Site-Improvement Drawing" must be submitted showing the total Project Area with all proposed structural improvements, drawn to scale, located on their respective sites. This drawing or set of drawings is intended to display the total concept of the Project Area and its impact on the surrounding environment. This drawing can be a perspective "streetscape" or similar illustration drawn to an appropriate scale shown from a point which represents the view of the most significantly affected lots and/or roadway.

Subsection 3.1 "General Site Grading & Drainage" to add to Subsection 3.1 the following:

1. Where Project Area grading is accomplished with a minimum of over lot grading, the resulting building site re-contouring must be done with minimum disruption to the platted lots. Re-contouring to create flat building platforms on the individual sites is not acceptable.
2. All of the requirements of site grading and drainage are delineated in detail on the grading, drainage and soil erosion plans required by Douglas County at final plat approval. All of those requirements are to be transferred to the required individual site plans as a part of the required Design submittals.

Subsection 3.5 "Driveways" is modified to add to Subsection 3.5 the following:

Driveways thirty feet (30') or less in length must be twenty feet (20') in width all the way to the road to provide off-street parking.

Subsection 3.7 “Parking and Turn-around Areas” is modified to replace all of subsection 3.7 with the following:

At least two (2) off-street car parking spaces, in addition to the garage, must be provided on each Project Area Single-Family lot. (access and egress from garage is not required when off-street areas are occupied). Guest parking spaces will be required in Project Areas that are Multi-Family.

Subsection 3.14 “Approach Signage” and “House Numbers” are modified to replace all of Subsection 3.14 with the following:

1. Each building is required to have a lighted house number that is visible and legible from the access roadway. The number, in addition to identifying the street number assigned to the residence, is to allow fire and emergency personnel to quickly locate the home. The number must be located within thirty feet (30’) of access roadway. The number may be located on the house if it is within thirty feet (30’) of the edge of the access roadway.
2. Where the house is located such that the number cannot be located within thirty feet (30’) of the edge of the access roadway by attaching it to the house, freestanding signage containing the house number, illuminated by a DRC approved light, is required. The free standing signage must be located within twenty feet (20’) of the edge of the access roadway and as near to the driveway as practical.
3. The free standing signage must be sized so as to allow installation of house numbers whose minimum height is four inches (4”) and whose maximum height is six inches (6”). The numbers must be of an appropriate contrasting material and color with the surface upon which they are mounted. The freestanding signage must be designed and built to be compatible with the design of the house and have a professionally constructed appearance.
4. The maximum allowable height of the signage is five feet (5’).

9.6 Procedures

The procedures for Project Areas are the same as those specified for Single-Family homes in Section 7.0, plus the following:

9.6.1 Sketch Plan Submission

The applicant shall provide a set of sketch plans, one for each basic different building and a preliminary “Building-Lot Matrix” which identifies the building type, exterior materials and colors planned for

each building on each lot. The frequency of repetition of building types and location of each will be shown in the matrix and on a site plan. A Sketch plan submission shall also include the following information:

1. A survey of the property including topography and existing site features at a scale of 1"= 10'. Topography shall be extended a minimum of 100 feet from all property lines. Contour intervals shall not exceed two feet (2'). The survey shall include all utility line locations serving the property as well as those in the area where construction or utility line excavation may be required.
2. A site plan superimposed over the topographic survey at a scale of 1"=20' showing all topographical changes as a solid line. The site plan shall contain the building "footprint" including any porches, balconies or other building projections. The site plan shall show access, egress and parking locations. The drawing shall extend a sufficient distance from the platted survey property lines to allow evaluation of the impact of the project upon adjacent property. The required area to be included on the drawing will be determined at the on-site meeting.
3. The site plan shall be accompanied by a Phase I Drainage Plan and evidence that such plan has been submitted to and accepted by the Douglas County Department of Planning and Community Development for review.
4. Elevations of the proposed structure(s) at a scale of 1/8"=1' or 1/4"=1', including elevations of each major level of the building and/or roof tops referenced to USGS datum, shall be submitted. The elevations shall be accompanied by a site study prepared by the project architect. This study shall contain the appropriate written or graphic rationale for the suggested building design.
5. A line-of-site study or studies, with appropriately scaled drawings, shall be provided showing appropriate proposed platted lots with sketches of the improvements planned and the view relationship to lots in the immediate area which may be affected.

Subsequent Sketch plans for buildings on individual sites are not required once all building types of the Project area have been approved.

9.6.2 Preliminary Plan Submission

Preliminary plans are required for each building to be built on each site in the project area. A site plan along with a final "Building-Lot

Matrix” and plat plan are required with the Preliminary submittal. Proposed changes in the matrix must be submitted to the DRC for approval.

Project Area submittals are to comply with Subsection 7.12 of this document. Additionally, evidence of the Douglas County required Drainage Plan and building elevation drawings of proposed temporary sales and construction trailers must be submitted.

At the discretion of the DRC, a model of the project may be required to be submitted that visually portrays the project, as it will appear in the community. The model shall be at a horizontal scale of at least 1”=20’. The vertical scale must be an even multiple of the horizontal scale. The model must be exact in detail to accurately portray the exterior appearance. The horizontal element of the model must show the surrounding area for a distance of 50 feet from the property lines. The DRC may require submission of scaled perspective drawings of the proposed development from selected off-site locations.

9.6.3 Final Working Drawing Plan Submission

Final submittal must include all of the materials required for the Preliminary plan submission and incorporate all the required changes from the previous submission.

Project Area submittals are to comply with subsection 7.13 of this document. Additionally, evidence of the Douglas County required Drainage Plan and building elevations and drawings of proposed temporary sales and construction trailers must be submitted.

A planting and phasing schedule for installation of the landscape plan must be provided together with a firm cost estimate for the entire landscape program. The cost estimate will be used as a basis to determine the amount of the security deposit required to assure completion.

A cost estimate of the entire project (landscaping costs to be identified as a separate line item) and a construction or development schedule setting forth specific dates or times for the accomplishment of certain work items must be submitted. This submission will be used in part to determine the amount and type of security required to assure completion of the project. The Submission will be submitted to the RPF for their review and approval.

An address plat should be submitted at this time.

9.7 Security Deposits, Fees and Insurance Requirements

The following instruments shall be required of contractors:

1. A certified check in the amount stated in the current RPF Design Review Fee schedule or building and landscaping completion assurance, is to be paid to the RPF office prior to receiving stamped approved final plans. Money will be kept in a separate account and refunded for timely successful completion of both building and landscaping.
2. Evidence of general liability insurance, satisfactory to the RPF, in the amount stated in the RPF Design Fee Schedule. Such evidence shall name the RPF as an additional insured, and shall show coverage for the duration of the project. In addition, such entity shall furnish evidence of Workers Compensation Insurance coverage sufficient to cover all employees engaged in the project for the duration of the project.

Based upon the Final Working Drawings approved project plans, the DRC shall recommend to the Foundation Board the amount of any required security deposits. Approval may be for a specific time and include specific performance requirements of the developer. Security deposits will be determined based upon the scope of the multi-family unit project. Refer to Subsection 7.9, "Douglas County Requirements" for security deposit release conditions.

9.7.1 Security Deposits, Fees and Insurance Requirements (Developers):

In the event a parcel is developed under a Douglas County Subdivision Improvements Agreement Douglas County is responsible for insuring that the developer provides, to Douglas County, an Irrevocable Letter of Credit in an amount equal to 115% of the estimated cost of the required infrastructure improvements.

9.8 Notification of Design Approval

Subsection 7.5, "Notification of Design Approval" is modified to replace subsection 7.5 with the following:

Each Design Review meeting agenda is posted at the mail pods prior to every scheduled meeting. It is the property owner's responsibility to be aware of possible revisions or adjustments to properties within the community which may affect their property. Upon acceptance of a submitted Sketch plan for review by

the DRC, notification to adjacent property owners will be provided in the following manner:

Notification of receipt and approval of the Concept Development Plan and subsequent Sketch Plan for the Project Area will be provided to all property owners as specified in subsection 7.5:

1. A distinctive sign will be placed prominently on the Project Area for which the Concept Development Plan and subsequent Sketch Plan were submitted and approval granted. The sign will remain on the site for a minimum of 30 days.
2. Notification of the planned Project Area development, and approval of the Concept Development Plan and subsequent Sketch Plan, including the proposed number of lots, will be published in the RPF newsletter.
3. By appointment, plans can be reviewed at the RPF office Monday through Friday during regular office hours.

Comments by affected property owners should be limited to the overall effect on the environment. The DRC will evaluate written comments submitted to the DRC Coordinator within thirty (30) days of the sign posting date.

The DRC takes into account in its reviews, the total impact of the Project Area on the existing environment, including the impact the new structure may have on privacy or views from existing homes. However, there are no pre-approved view corridors designated in Roxborough Park, and neither preservation of existing views, nor maintenance of existing privacy can be guaranteed. The DRC approves only designs that meet the criteria and requirements set forth in DRD. Subsequent changes to initial approval will not be communicated to neighboring property owners. Information regarding any changes of the proposed plan can be obtained at the DRC meetings. It is the adjacent property owners' responsibility to obtain this information and communicate his/her concerns, in writing, to the DRC Coordinator.

In response to comments the DRC may:

1. Require the Property Owner to make a change which was the result of a written comment.
2. Recommend the Property Owner consider incorporating a design change based on an appropriate comment.
3. Make no change to the plans.

Lot owners who have submitted written comments will be informed of the DRC's action regarding their comments.